

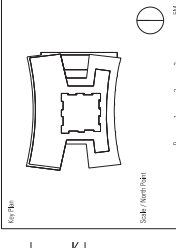
**ATTACHMENT B**

**SELECTED DRAWINGS**

**33 ALFRED STREET, SYDNEY -  
AMP BUILDING**



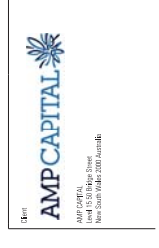
**General Notes:**  
 1. The architect is not responsible for the structural design of any elements of the building. The architect is responsible for the building work of any elements of the building.  
 2. The architect is not responsible for the design of any elements of the building that are not shown on these drawings.  
 3. The architect is not responsible for the design of any elements of the building that are not shown on these drawings.  
 4. The architect is not responsible for the design of any elements of the building that are not shown on these drawings.  
 5. The architect is not responsible for the design of any elements of the building that are not shown on these drawings.



131016-01  
 Rev: App: 010  
 Date: 7/26/17

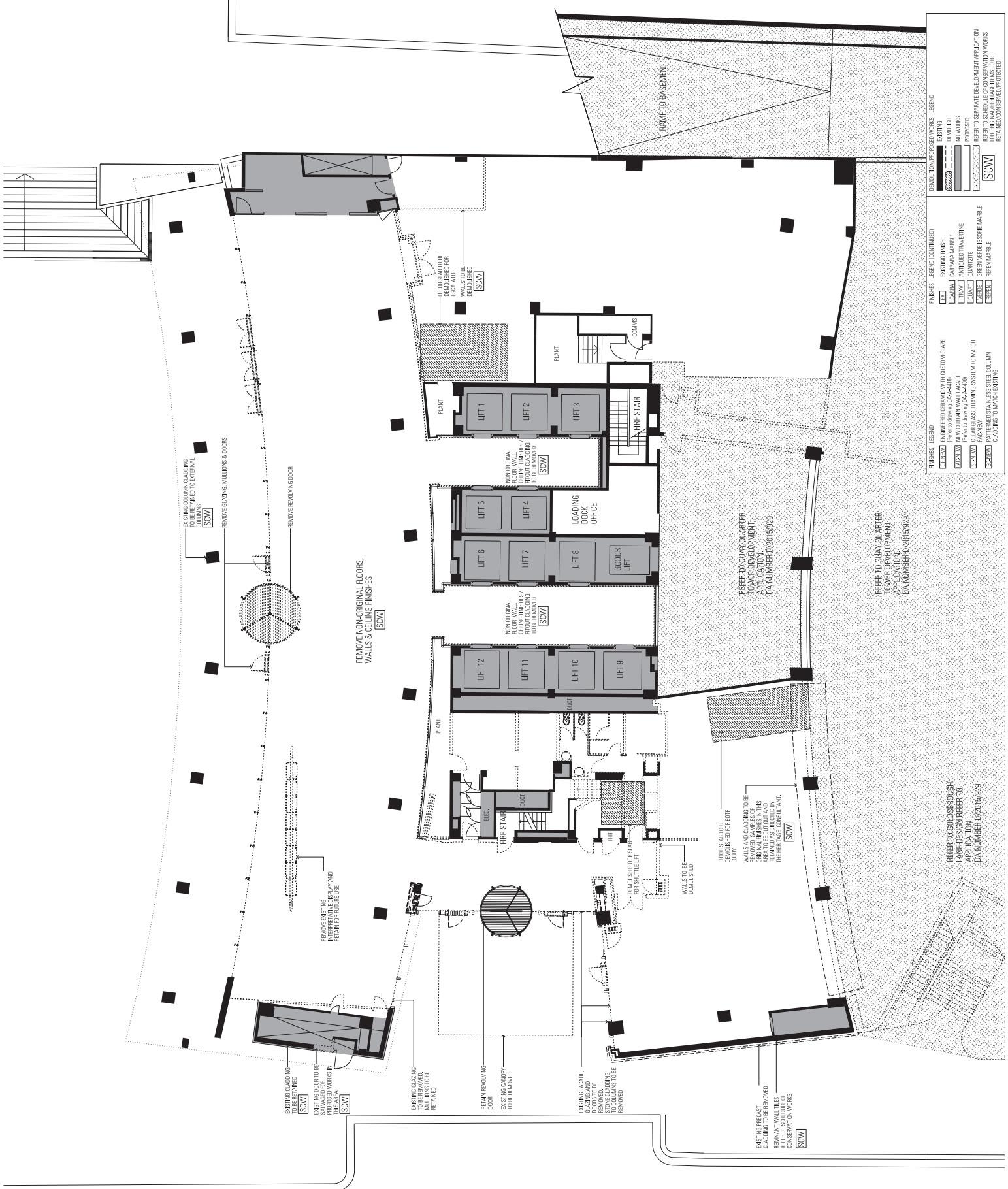
### DEVELOPMENT APPLICATION

<b>Project Manager</b> The Property Corporation 100 E. 15th Street New York, NY 10003 417-770-3000 info@thepropertycorp.com	<b>Structural Engineer</b> RSCM 100 E. 15th Street New York, NY 10003 417-770-3000 info@thepropertycorp.com
<b>Building Services</b> The Property Corporation 100 E. 15th Street New York, NY 10003 417-770-3000 info@thepropertycorp.com	<b>Historic Preservation Consultant</b> The Property Corporation 100 E. 15th Street New York, NY 10003 417-770-3000 info@thepropertycorp.com
<b>General Contractor</b> The Property Corporation 100 E. 15th Street New York, NY 10003 417-770-3000 info@thepropertycorp.com	<b>Architect</b> The Property Corporation 100 E. 15th Street New York, NY 10003 417-770-3000 info@thepropertycorp.com



**Architect**  
**J.P.W. JOHNSON PLITON WALKER**  
 100 E. 15th Street  
 New York, NY 10003  
 417-770-3000  
 info@jpwalker.com

Project No.: 131016-01  
 Project Name: 33 ALFRED STREET  
 Development Stage: DEMOLITION APPLICATION  
 Drawing No.: DA-A-0200



- EXISTING/PROPOSED WORKS - LEGEND**
- EXISTING FINISH
  - DEMOLISH
  - NO WORKS
  - PROPOSED
  - REFER TO SEPARATE DEVELOPMENT APPLICATION
  - REFER TO SCHEDULE OF CONSERVATION WORKS
  - TO BE RETAINED/CONSERVED/PROTECTED

- FINISHES - LEGEND (CONTINUED)**
- ENGINEERED SUBFLOOR WITH CUSTOM GLAZE
  - CARBIDE MARBLE
  - POLISHED CONCRETE WITH GREEN GRANITE QUARTZITE
  - GREEN VERDE PESSOLE MARBLE
  - REFER MARBLE
  - REFER MARBLE
  - PATTERNED STAINLESS STEEL COLUMN CLADDING TO MATCH EXISTING

- FINISHES - LEGEND**
- ENGINEERED SUBFLOOR WITH CUSTOM GLAZE
  - POLISHED CONCRETE WITH GREEN GRANITE QUARTZITE
  - POLISHED CONCRETE WITH GREEN GRANITE QUARTZITE
  - POLISHED CONCRETE WITH GREEN GRANITE QUARTZITE
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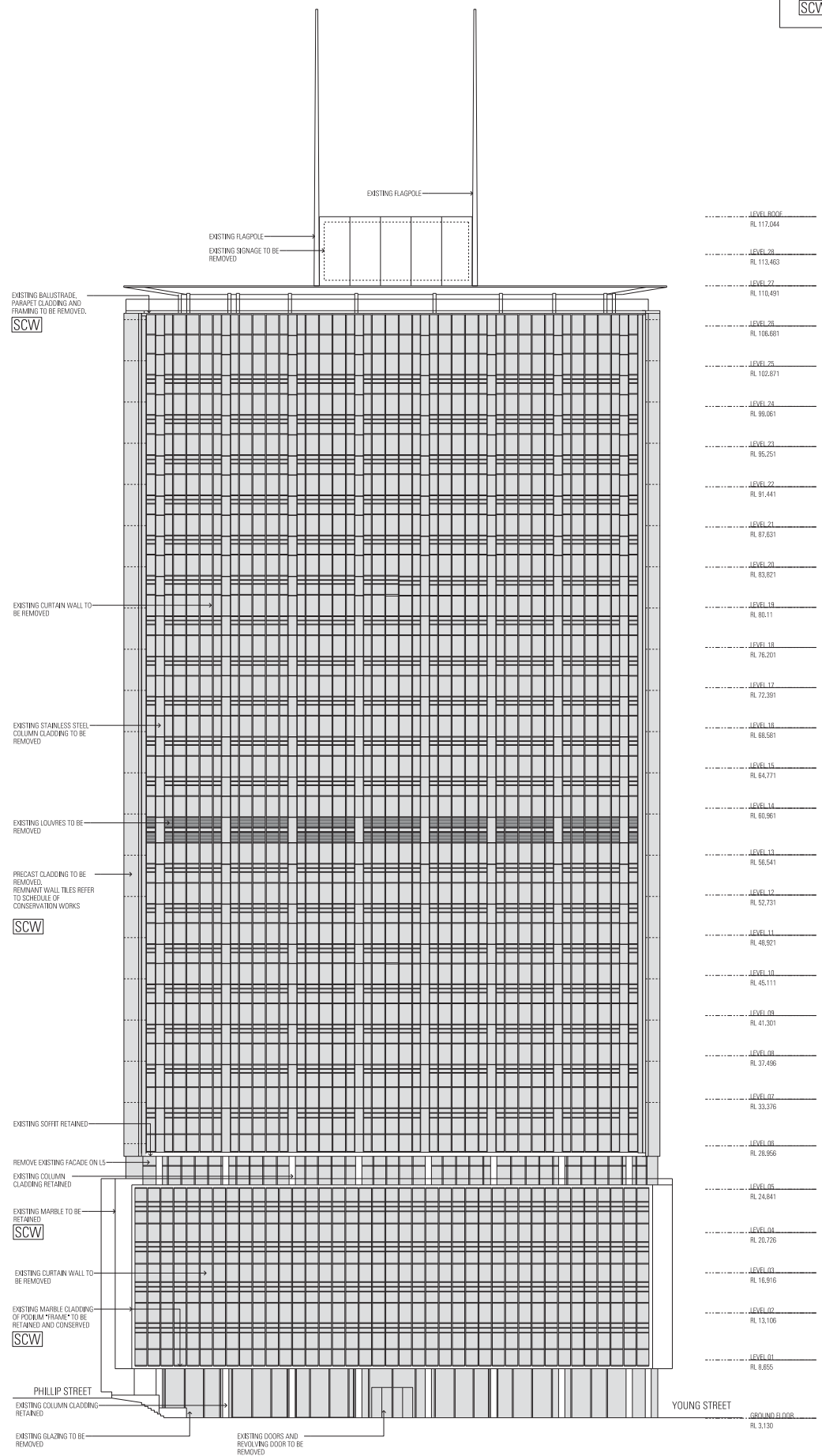
- FINISHES - LEGEND**
- ENGINEERED SUBFLOOR WITH CUSTOM GLAZE
  - POLISHED CONCRETE WITH GREEN GRANITE QUARTZITE
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- FINISHES - LEGEND**
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  - POLISHED CONCRETE WITH GREEN GRANITE QUARTZITE

FILED IN THE OFFICE OF THE CLERK OF THE SUPREME COURT OF THE CITY AND COUNTY OF NEW YORK  
 COUNTY OF NEW YORK  
 2017 JUL 26 PM 2:50  
 J.P.W. JOHNSON PLITON WALKER ARCHITECTS

**DEMOLITION/PROPOSED WORKS - LEGEND**  
 REFER TO SEPARATE DEVELOPMENT APPLICATION  
 SCHEDULE OF CONSERVATION WORKS  
 FOR ORIGINAL/HERITAGE ITEMS TO BE  
 RETAINED/CONSERVED/PROTECTED



**DEMOLITION WORKS**  
**ALFRED STREET ELEVATION**

Project Number: 148224  
 Date: 00  
 Drawing No: 00

**33 ALFRED STREET**

**JPW JOHNSON MILTON WALKER**  
 Architects  
 140 Phillip Street, Suite 101  
 Melbourne VIC 3000  
 Phone: +61 3 9259 3800  
 Fax: +61 3 9259 3809  
 Email: info@jpwm.com.au

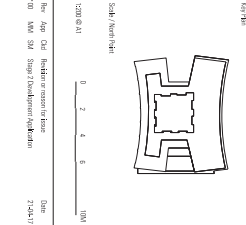
**AMP CAPITAL**  
 140 Phillip Street, Suite 101  
 Melbourne VIC 3000  
 Phone: +61 3 9259 3800  
 Fax: +61 3 9259 3809  
 Email: info@jpwm.com.au

**Client:** AMP Capital  
**Project:** 33 Alfred Street, Melbourne  
**Scale:** 1:200  
**Date:** 14/05/2024

**Notes:**

- Refer to Schedule of Conservation Works for items to be retained.
- Refer to Schedule of Demolition Works for items to be removed.
- Refer to Schedule of Proposed Works for items to be added.
- Refer to Schedule of Retained Works for items to be kept.
- Refer to Schedule of Protected Works for items to be preserved.
- Refer to Schedule of Conserved Works for items to be maintained.
- Refer to Schedule of Preserved Works for items to be protected.
- Refer to Schedule of Maintained Works for items to be kept.
- Refer to Schedule of Protected Works for items to be preserved.
- Refer to Schedule of Conserved Works for items to be maintained.
- Refer to Schedule of Preserved Works for items to be protected.
- Refer to Schedule of Maintained Works for items to be kept.

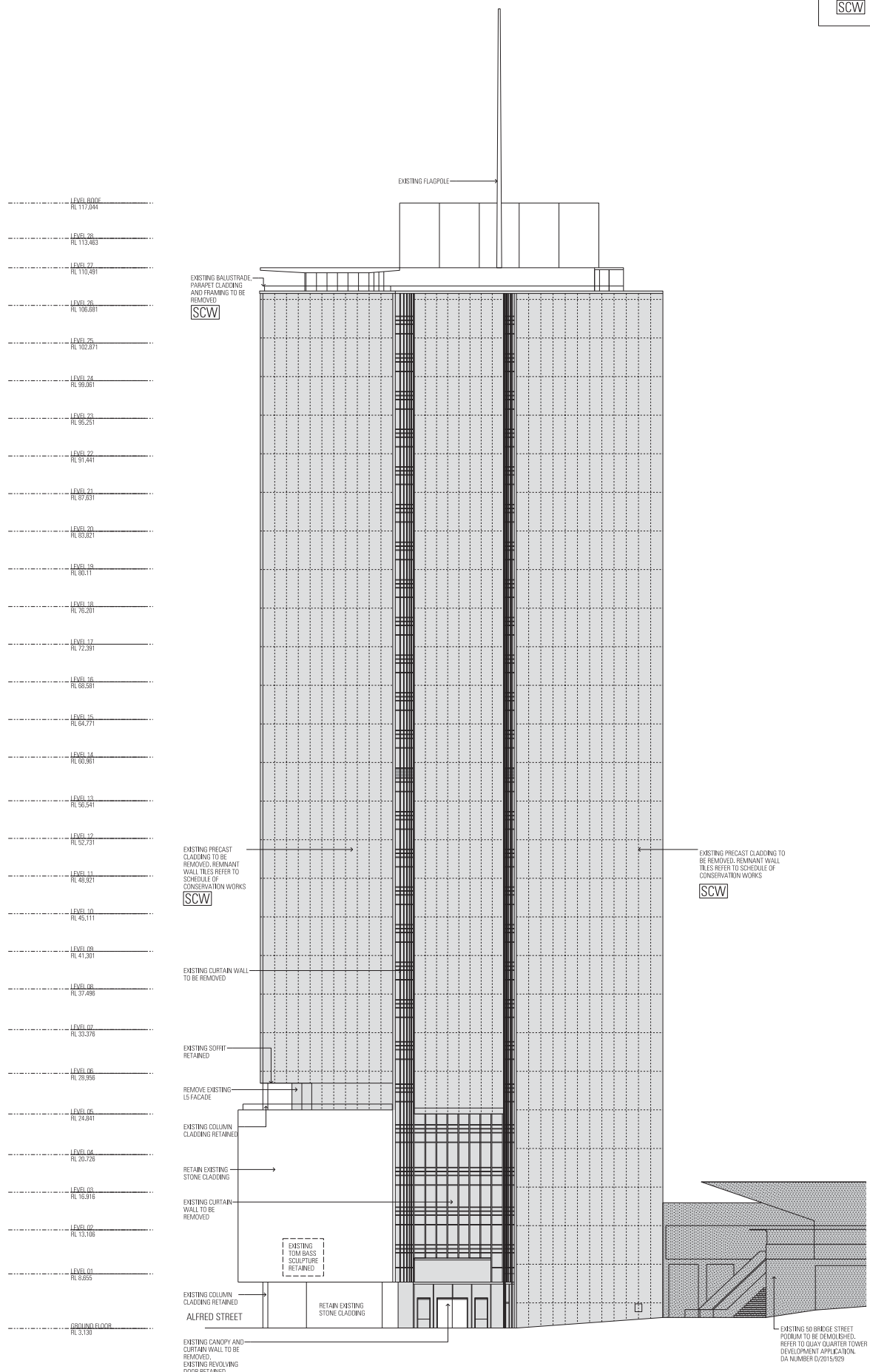
**DEVELOPMENT APPLICATION**



**General Notes:**

- Refer to Schedule of Conservation Works for items to be retained.
- Refer to Schedule of Demolition Works for items to be removed.
- Refer to Schedule of Proposed Works for items to be added.
- Refer to Schedule of Retained Works for items to be kept.
- Refer to Schedule of Protected Works for items to be preserved.
- Refer to Schedule of Conserved Works for items to be maintained.
- Refer to Schedule of Preserved Works for items to be protected.
- Refer to Schedule of Maintained Works for items to be kept.
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- Refer to Schedule of Conserved Works for items to be maintained.
- Refer to Schedule of Preserved Works for items to be protected.
- Refer to Schedule of Maintained Works for items to be kept.

DEMOLITION/PROPOSED WORKS - LEGEND  
 REFER TO SEPARATE DEVELOPMENT APPLICATION  
 REFER TO SCHEDULE OF CONSERVATION WORKS  
 FOR ORIGINAL/HERITAGE ITEMS TO BE  
 RETAINED/CONSERVED/PROTECTED



Project Title  
**YOUNGS STREET ELEVATION  
 DEMOLITION WORKS**

Project Number  
**140224**

Client  
**AMP CAPITAL**

Project Location  
**33 ALFRED STREET**

Project Manager  
**JOHNSON PILTON WALKER**

Project Number  
**140224**

Client  
**AMP CAPITAL**

Project Location  
**33 ALFRED STREET**

Project Manager  
**JOHNSON PILTON WALKER**

Project Number  
**140224**

Client  
**AMP CAPITAL**

Project Location  
**33 ALFRED STREET**

Project Manager  
**JOHNSON PILTON WALKER**

Project Number  
**140224**

Client  
**AMP CAPITAL**

Project Location  
**33 ALFRED STREET**

Project Manager  
**JOHNSON PILTON WALKER**

Project Number  
**140224**

Client  
**AMP CAPITAL**

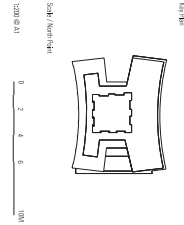
Project Location  
**33 ALFRED STREET**

Project Manager  
**JOHNSON PILTON WALKER**

Project Number  
**140224**

Client  
**AMP CAPITAL**

Project Location  
**33 ALFRED STREET**



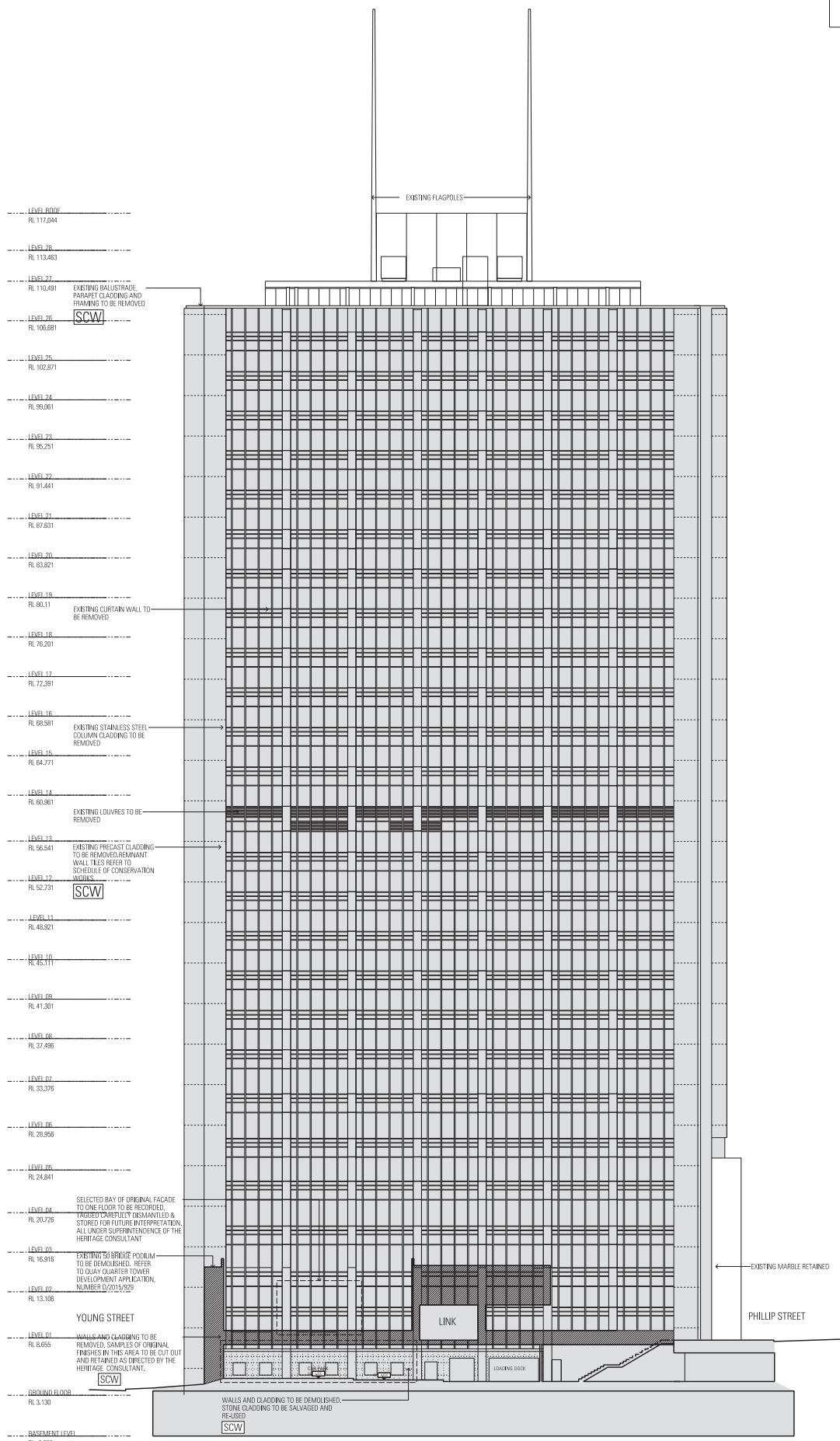
Project Manager  
**JOHNSON PILTON WALKER**

Project Number  
**140224**

Client  
**AMP CAPITAL**

Project Location  
**33 ALFRED STREET**

DEMOLITION/PROPOSED WORKS - LEGEND  
 REFER TO SEPARATE DEVELOPMENT APPLICATION  
 REFER TO SCHEDULE OF CONSERVATION WORKS  
 FOR ORIGINAL/HERITAGE ITEMS TO BE  
 RETAINED/CONSERVED/PROTECTED



Project Title  
**GOLDSBROUGH LANE ELEVATION  
 DEMOLITION WORKS**

Project Number  
**14822A**

Client  
**AMP CAPITAL**

Project Location  
**33 ALFRED STREET**

Project Reference  
**DA-19504**

Project Reference  
**DA-19504**

Project Location  
**33 ALFRED STREET**

Project Reference  
**DA-19504**

Project Reference  
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Project Location  
**33 ALFRED STREET**

Project Reference  
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Project Location  
**33 ALFRED STREET**

Project Reference  
**DA-19504**

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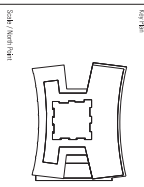
Project Location  
**33 ALFRED STREET**

Project Reference  
**DA-19504**

DEMOLITION/PROPOSED WORKS - LEGEND  
 REFER TO SEPARATE DEVELOPMENT APPLICATION  
 FOR SCHEDULE OF CONSERVATION WORKS  
 FOR ORIGINAL/HERITAGE ITEMS TO BE  
 RETAINED/CONSERVED/PROTECTED



General Notes  
 1. All work shall be done in accordance with the Ontario Building Code (OBC) and the Ontario Fire Code (OFC).  
 2. The contractor shall be responsible for obtaining all necessary permits and approvals from the City of Toronto.  
 3. All work shall be completed within the specified time frame.  
 4. The contractor shall maintain access to all adjacent properties at all times.  
 5. All work shall be done in a safe and sound manner.  
 6. All work shall be done in accordance with the applicable standards and specifications.  
 7. All work shall be done in accordance with the applicable laws and regulations.  
 8. All work shall be done in accordance with the applicable codes and standards.  
 9. All work shall be done in accordance with the applicable best practices.  
 10. All work shall be done in accordance with the applicable industry standards.



Item No.	Qty	Unit	Description	Notes
1	1	Lot	Removal of existing structure	Refer to Schedule of Conservation Works
2	1	Lot	Site preparation and grading	
3	1	Lot	Foundation and structural steel	
4	1	Lot	Exterior cladding and masonry	
5	1	Lot	Interior fit-out and finishes	
6	1	Lot	Site restoration and landscaping	

DEVELOPMENT APPLICATION  
 1. The applicant shall provide all necessary information and documentation to support the application.  
 2. The applicant shall be responsible for paying all applicable fees and charges.  
 3. The applicant shall be responsible for providing all necessary access to the site.  
 4. The applicant shall be responsible for maintaining the site in a safe and sound manner.  
 5. The applicant shall be responsible for obtaining all necessary permits and approvals from the City of Toronto.  
 6. The applicant shall be responsible for completing the project within the specified time frame.  
 7. The applicant shall be responsible for maintaining access to all adjacent properties at all times.  
 8. The applicant shall be responsible for ensuring that all work is done in a safe and sound manner.  
 9. The applicant shall be responsible for ensuring that all work is done in accordance with the applicable standards and specifications.  
 10. The applicant shall be responsible for ensuring that all work is done in accordance with the applicable laws and regulations.

Item No.	Qty	Unit	Description	Notes
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2	1	Lot	Site preparation and grading	
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4	1	Lot	Exterior cladding and masonry	
5	1	Lot	Interior fit-out and finishes	
6	1	Lot	Site restoration and landscaping	

AMP CAPITAL  
 1400 BAYVIEW AVE, SUITE 1000, SCARBOROUGH, ONTARIO M1S 5V6  
 TEL: (416) 291-8888  
 WWW.AMPCAPITAL.COM

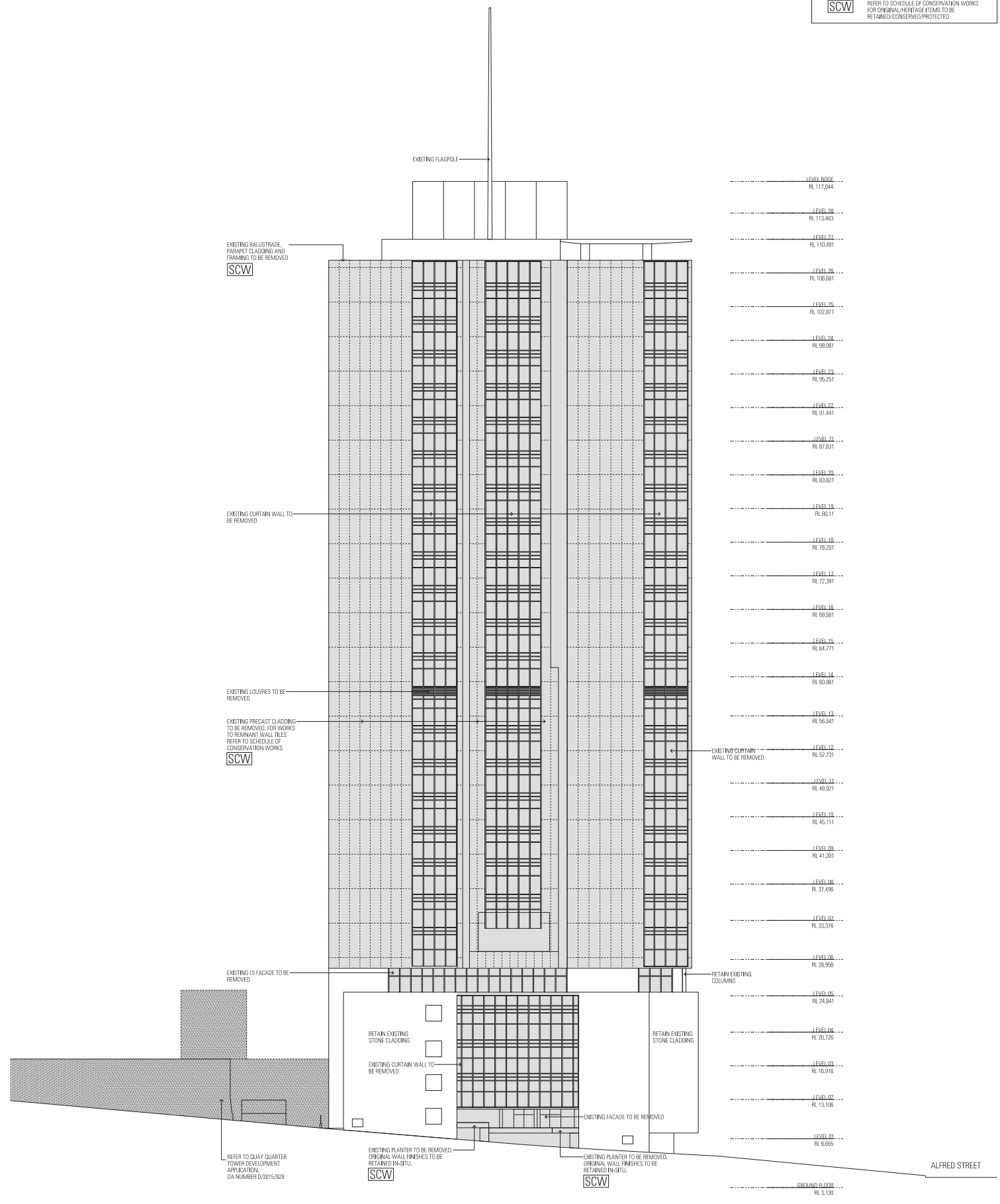
JPW  
 JOHNSON MITTON WALKER  
 100 KING ST. W., SUITE 1000, TORONTO, ONTARIO M5X 1C5  
 TEL: (416) 593-8800  
 WWW.JPW.COM

33 ALFRED STREET  
 SOUTH RECESSED ELEVATIONS  
 DEMOLITION WORKS  
 DEVELOPMENT APPLICATION  
 00

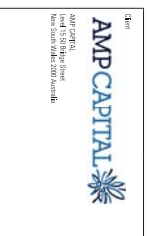




DEMOLITION/PROPOSED WORKS - LEGEND  
 REFER TO SEPARATE DEVELOPMENT APPLICATION  
 REFER TO SCHEDULE OF CONSERVATION WORKS  
 FOR ORIGINAL/HERITAGE ITEMS TO BE  
 RETAINED/CONSERVED/PROTECTED



Project Name: PHILIP STREET ELEVATION DEMOLITION WORKS  
 Client: AMP CAPITAL  
 Architect: J.P.W. JOHNSON MILTON WALKER  
 Date: 01/04/2019



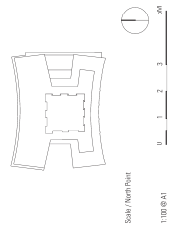
Item	Description	Material	Quantity	Unit	Notes
1	Demolition of existing facade	Concrete	100	m <sup>2</sup>	Refer to DA number D/2015/929
2	Demolition of existing stone cladding	Stone	50	m <sup>2</sup>	Refer to DA number D/2015/929
3	Demolition of existing precast cladding	Concrete	20	m <sup>2</sup>	Refer to DA number D/2015/929
4	Demolition of existing louvres	Aluminum	10	m <sup>2</sup>	Refer to DA number D/2015/929
5	Demolition of existing balustrade	Concrete	5	m	Refer to DA number D/2015/929
6	Demolition of existing curtain wall	Aluminum	10	m <sup>2</sup>	Refer to DA number D/2015/929
7	Demolition of existing planter	Concrete	5	m <sup>2</sup>	Refer to DA number D/2015/929
8	Retention of existing stone cladding	Stone	50	m <sup>2</sup>	Refer to DA number D/2015/929
9	Retention of existing columns	Concrete	10	m	Refer to DA number D/2015/929
10	Retention of existing facade	Concrete	100	m <sup>2</sup>	Refer to DA number D/2015/929
11	Retention of existing stone cladding	Stone	50	m <sup>2</sup>	Refer to DA number D/2015/929
12	Retention of existing precast cladding	Concrete	20	m <sup>2</sup>	Refer to DA number D/2015/929
13	Retention of existing louvres	Aluminum	10	m <sup>2</sup>	Refer to DA number D/2015/929
14	Retention of existing balustrade	Concrete	5	m	Refer to DA number D/2015/929
15	Retention of existing curtain wall	Aluminum	10	m <sup>2</sup>	Refer to DA number D/2015/929
16	Retention of existing planter	Concrete	5	m <sup>2</sup>	Refer to DA number D/2015/929

Scale: 1:100  
 North Arrow  
 Date: 01/04/2019  
 Drawn: J.P.W. JOHNSON MILTON WALKER  
 Checked: J.P.W. JOHNSON MILTON WALKER  
 Project: PHILIP STREET ELEVATION DEMOLITION WORKS  
 Client: AMP CAPITAL



**General Notes**

1. The building is to be constructed in accordance with the Australian Building Code Board (ABCB) Building Code of Australia (BCA) and all other applicable standards.
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10. The building is to be constructed in accordance with the Australian Building Code Board (ABCB) Building Code of Australia (BCA) and all other applicable standards.



Rev	App	CD	Revised Description	Date
-01	NY	SI	Stage Development Application	02/11/17
-02	NY	SI	Stage Development Application	02/11/17

**DEVELOPMENT APPLICATION**

**Project Manager**  
 Mr. James Conroy  
 10/11/17  
 407-27878000  
 james.conroy@scw.com.au

**Structural Engineer**  
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 james.conroy@scw.com.au

**Fire Engineer**  
 Fire Engineering  
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 407-27878000  
 james.conroy@scw.com.au

**Quantity Surveyor**  
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**Energy / Planning Consultant**  
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**Account Consultant**  
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**Fire Engineer**  
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**Electrical Engineer**  
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**MEP Consultant**  
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**Architect**  
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 Australia  
 Telephone: 407 27878000  
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 Email: info@jipw.com.au

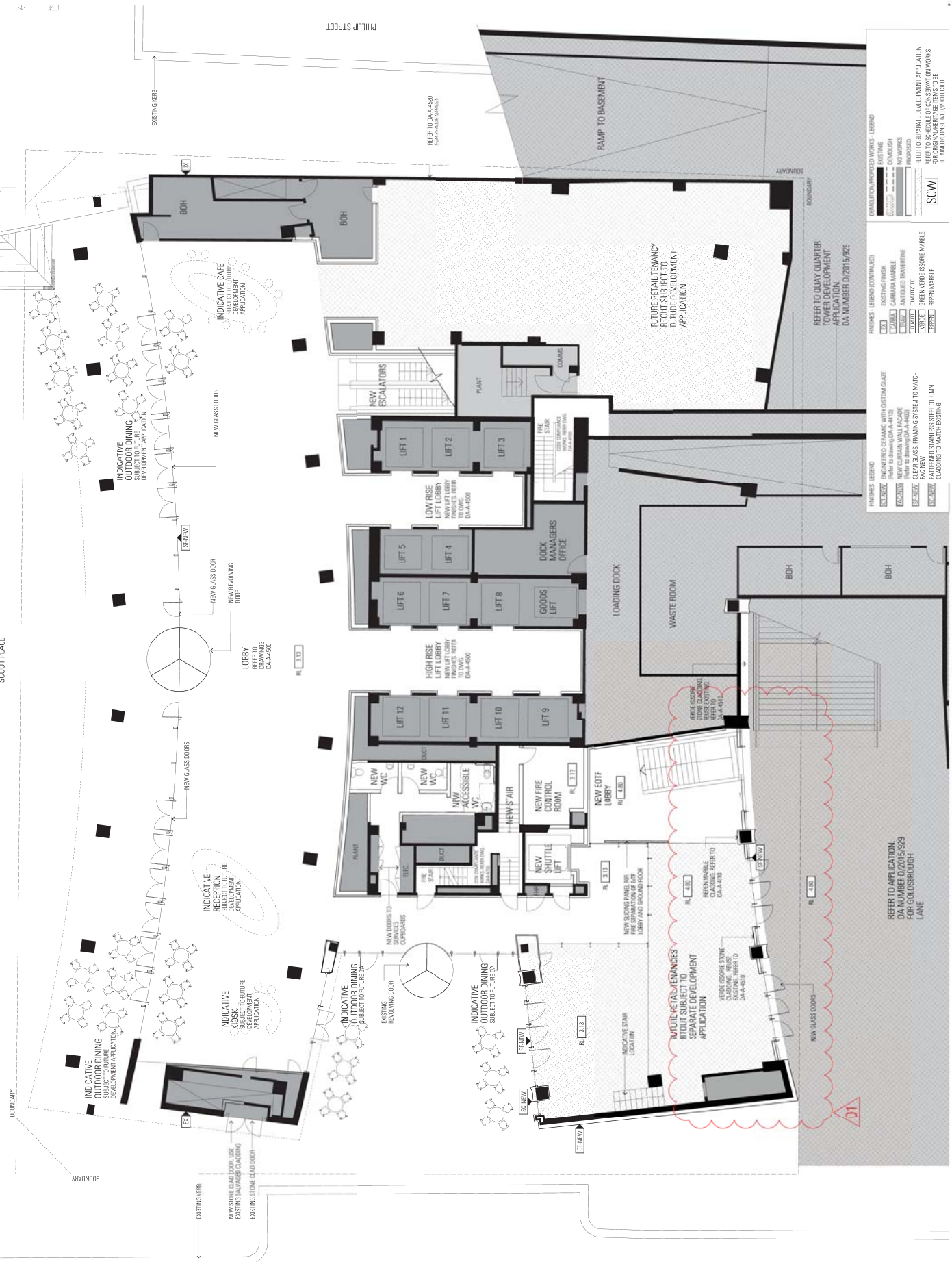
Project No:  
 33 ALFRED STREET

Drawing Title  
 GROUND FLOOR PLAN

Project Number  
 14022A

Development Stage  
 DEVELOPMENT APPLICATION

DA NUMBER  
 DA-A-1000



**FINISHES - LEGEND (CONTINUED)**

EXISTING FINISH	EXISTING MARBLE	NEW CLAY TILE WALL FACADE	NEW CLAY TILE WALL FACADE
NEW CLAY TILE WALL FACADE	NEW CLAY TILE WALL FACADE	NEW CLAY TILE WALL FACADE	NEW CLAY TILE WALL FACADE
NEW CLAY TILE WALL FACADE	NEW CLAY TILE WALL FACADE	NEW CLAY TILE WALL FACADE	NEW CLAY TILE WALL FACADE
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NEW CLAY TILE WALL FACADE	NEW CLAY TILE WALL FACADE	NEW CLAY TILE WALL FACADE	NEW CLAY TILE WALL FACADE

**SCW**

REFER TO SEPARATE DEVELOPMENT APPLICATION  
 REFER TO SCHEDULE OF CONSULTATION WORKS  
 REFER TO SCHEDULE OF CONSULTATION WORKS  
 REFER TO SCHEDULE OF CONSULTATION WORKS

**FINISHES - LEGEND**

INDICATED WORKS	EXISTING FINISH	EXISTING MARBLE	NEW CLAY TILE WALL FACADE
EXISTING FINISH	EXISTING MARBLE	NEW CLAY TILE WALL FACADE	NEW CLAY TILE WALL FACADE
EXISTING MARBLE	NEW CLAY TILE WALL FACADE	NEW CLAY TILE WALL FACADE	NEW CLAY TILE WALL FACADE
NEW CLAY TILE WALL FACADE	NEW CLAY TILE WALL FACADE	NEW CLAY TILE WALL FACADE	NEW CLAY TILE WALL FACADE
NEW CLAY TILE WALL FACADE	NEW CLAY TILE WALL FACADE	NEW CLAY TILE WALL FACADE	NEW CLAY TILE WALL FACADE

**SCW**

REFER TO SEPARATE DEVELOPMENT APPLICATION  
 REFER TO SCHEDULE OF CONSULTATION WORKS  
 REFER TO SCHEDULE OF CONSULTATION WORKS  
 REFER TO SCHEDULE OF CONSULTATION WORKS

REFER TO APPLICATION  
 DA NUMBER 2015/929  
 FOR BOLD BROU  
 LANE

REFER TO APPLICATION  
 DA NUMBER 2015/929  
 FOR BOLD BROU  
 LANE

REFER TO APPLICATION  
 DA NUMBER 2015/929  
 FOR BOLD BROU  
 LANE

REFER TO APPLICATION  
 DA NUMBER 2015/929  
 FOR BOLD BROU  
 LANE

**General Notes**

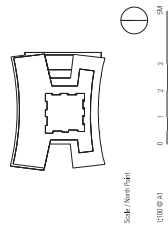
1. The architect has prepared this development application on the basis of the information provided to him by the client. It is the client's responsibility to ensure that the information provided is accurate and complete.

2. The architect is not responsible for the structural design of the building or for the safety of the building or for the safety of the public.

3. The architect is not responsible for the design of the building or for the safety of the building or for the safety of the public.

4. The architect is not responsible for the design of the building or for the safety of the building or for the safety of the public.

5. The architect is not responsible for the design of the building or for the safety of the building or for the safety of the public.



Rev: App. C1C. Revision: none to issue  
 Date: 7/26/17

**DEVELOPMENT APPLICATION**

**Project Manager**  
 The Property Corporation  
 Level 11, Level 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

**AMPCAPITAL**

AMPCAPITAL  
 100 South Street, 20th Floor  
 New South Wales 2000 Australia  
 Tel: +61 2 9221 0000  
 Fax: +61 2 9221 0001  
 Email: info@ampcapital.com.au

**Architect**  
 JIPW  
**JOHNSON PILTON WALKER**  
 Johnson Pilton Walker Pty Ltd (ACN 609 728 806)  
 Level 11, 100 South Street, Sydney NSW 2000 Australia  
 Tel: +61 2 9221 0000  
 Fax: +61 2 9221 0001  
 Email: info@jpw.com.au

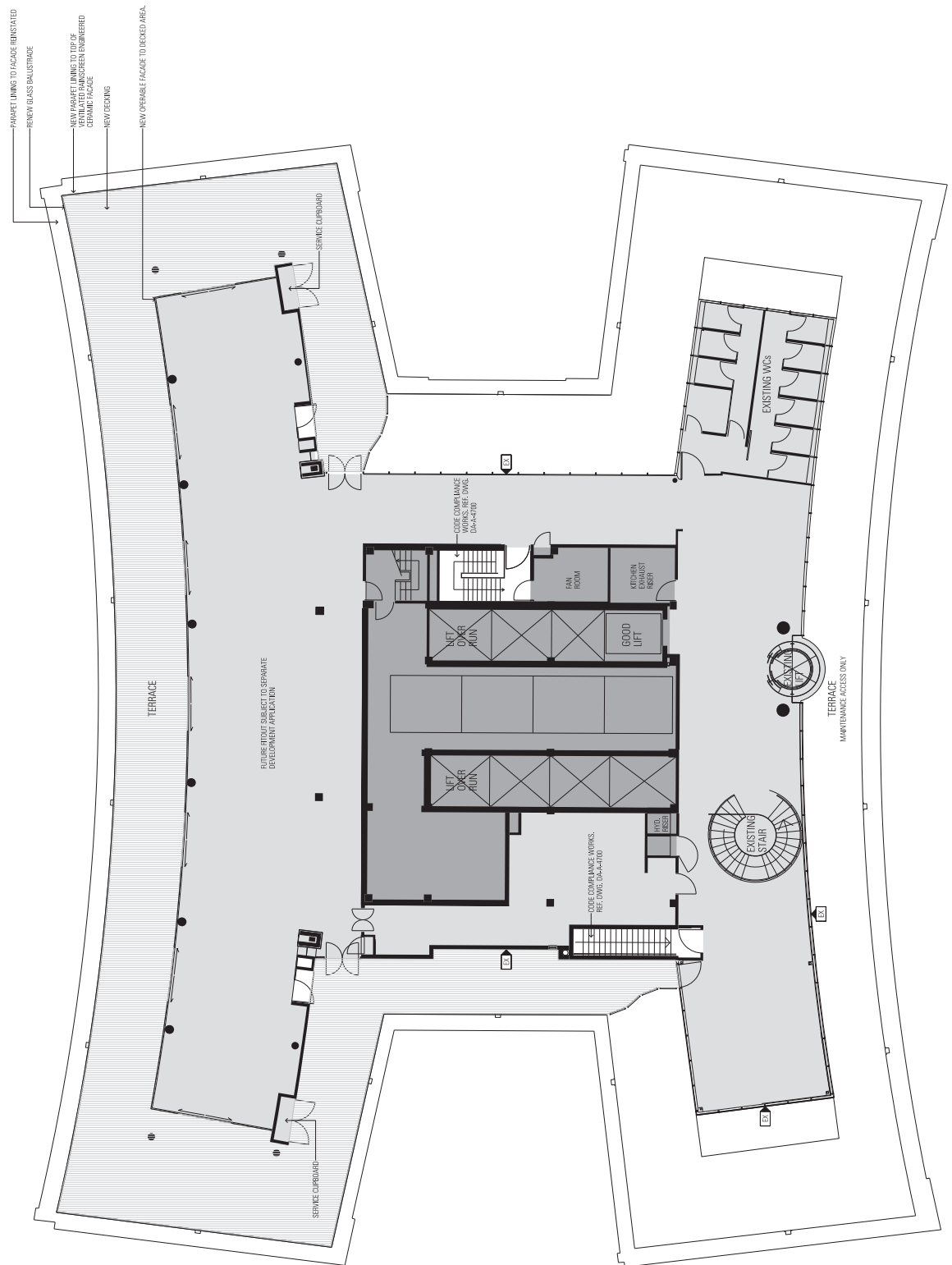
Project No:  
**33 ALFRED STREET**

Drawing No:  
**LEVEL 26 PLAN**

Project Number:  
**140622A**

Development Stage:  
**DEVELOPMENT APPLICATION**

Scale:  
**1:100**



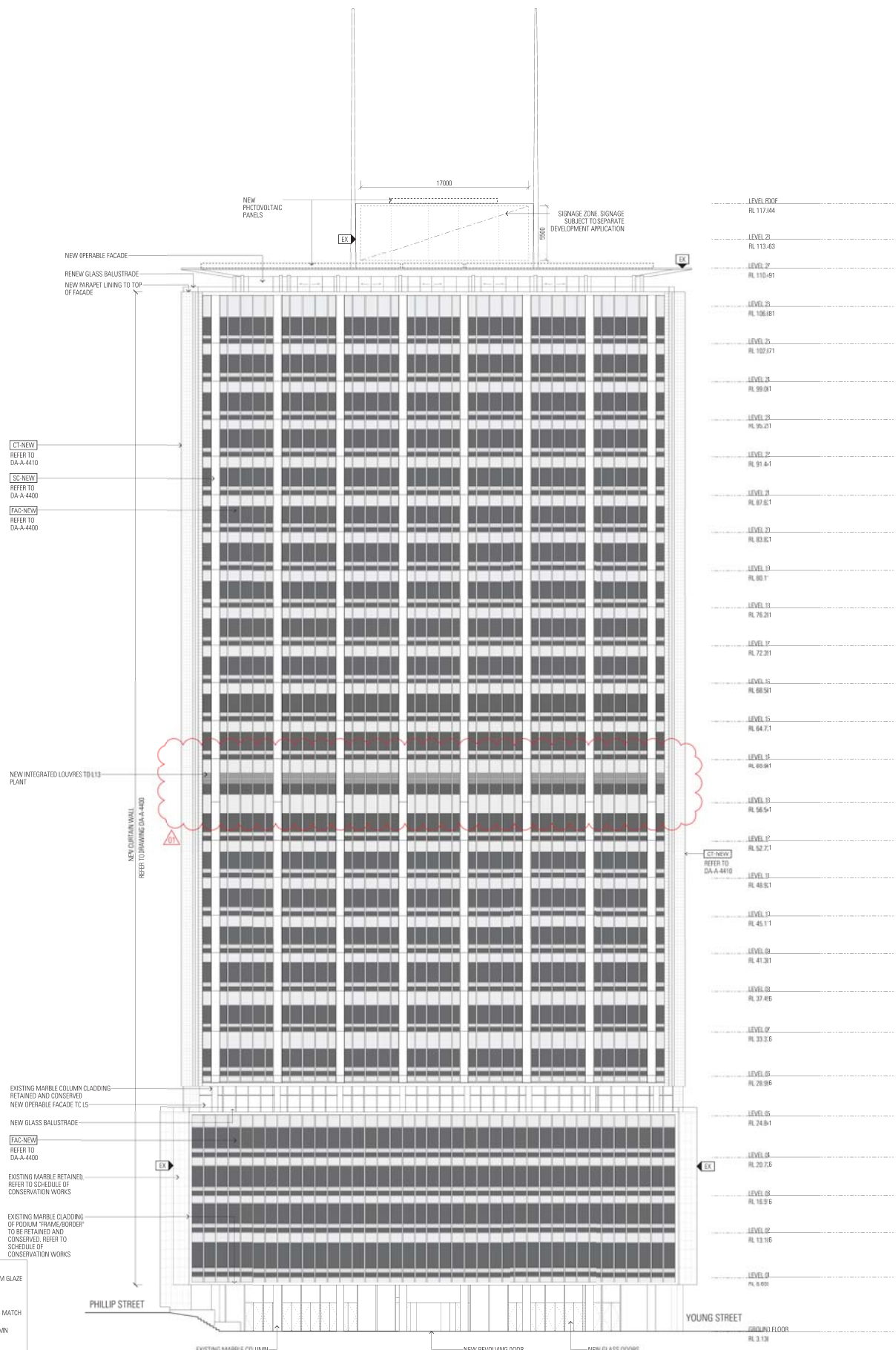
**FINISHES - LEGEND**

[Pattern]	ENGINEERED DEBRAMP WITH CUSTOM GLAZE
[Pattern]	EXISTING FINISH
[Pattern]	CHARBON MARBLE
[Pattern]	NEW CLAYAN WALL FACADE (Refer to drawing DA-A-4400)
[Pattern]	CLAYAN WALL FACADE WITH CENTRE
[Pattern]	CLAYAN WALL FACADE
[Pattern]	GREEN VERDE KESSER MARBLE
[Pattern]	REFIN MARBLE
[Pattern]	PATTERNED STAINLESS STEEL COLUMN CLADDING TO MATCH EXISTING

**FINISHES - LEGEND (CONTINUED)**

[Pattern]	EXISTING FINISH
[Pattern]	NO WORKS
[Pattern]	PROPOSED

**SCM**  
 REFER TO SEPARATE DEVELOPMENT APPLICATION  
 REFER TO SCHEDULE OF CONSERVATION WORKS  
 TO BE RETAINED/CONSERVED/PROTECTED



**CT-NEW**  
 REFER TO DA-A-4410

**SC-NEW**  
 REFER TO DA-A-4400

**FAC-NEW**  
 REFER TO DA-A-4400

**NEW CURTAIN WALL**  
 REFER TO DRAWING DA-A-4400

**NEW INTEGRATED LOULARES TO L10 PLANT**

**EXISTING MARBLE COLUMN CLADDING**  
 RETAINED AND CONSERVED

**NEW OPERABLE FACADE TC 15**

**NEW GLASS BALUSTRADE**

**FAC-NEW**  
 REFER TO DA-A-4400

**EXISTING MARBLE RETAINED**  
 REFER TO SCHEDULE OF CONSERVATION WORKS

**EXISTING MARBLE CLADDING OF PODIUM FRAME/BORDER**  
 TO BE RETAINED AND CONSERVED. REFER TO SCHEDULE OF CONSERVATION WORKS

**FINISHES - LEGEND**

<b>CT-NEW</b>	ENGINEERED CERAMIC WITH CUSTOM GLAZE Refer to drawing DA-A-4410
<b>FAC-NEW</b>	NEW CURTAIN WALL FACADE Refer to drawing DA-A-4400
<b>SC-NEW</b>	CLEAR GLASS FRAMING SYSTEM TO MATCH FAC-NEW
<b>SC-NEW</b>	PATTERNED STAINLESS STEEL COLUMN CLADDING TO MATCH EXISTING
<b>EX</b>	EXISTING FINISH

**33 ALFRED STREET**

**ALFRED STREET ELEVATION**

**DA-A-2000**

**DEVELOPMENT APPLICATION**

**AMP CAPITAL**  
 140/142 Phillip Street, Melbourne VIC 3000  
 Tel: 03 9493 2000  
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 Email: info@ampcapital.com.au

**AMP CAPITAL**  
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 140/142 Phillip Street, Melbourne VIC 3000  
 Tel: 03 9493 2000  
 Fax: 03 9493 2001  
 Email: info@ampcapital.com.au

**DEVELOPMENT APPLICATION**

**Site Plan**

Scale: 1:500

**Legend**

Site Boundary  
 Proposed Footprint  
 Proposed Structure  
 Proposed Driveway  
 Proposed Parking  
 Proposed Landscape  
 Proposed Fencing  
 Proposed Signage  
 Proposed Access  
 Proposed Retention Wall  
 Proposed Stormwater  
 Proposed Sewerage  
 Proposed Gas  
 Proposed Water  
 Proposed Electricity  
 Proposed Telecommunications  
 Proposed Other

**Site Data**

Site Name: 33 Alfred Street  
 Site Address: 33 Alfred Street, Melbourne VIC 3000  
 Site Area: 1,200 sqm  
 Site Zoning: C1  
 Site Occupancy: Office  
 Site Use: Office  
 Site Description: Office building with ground floor retail and upper floors office space.

**Site Plan**

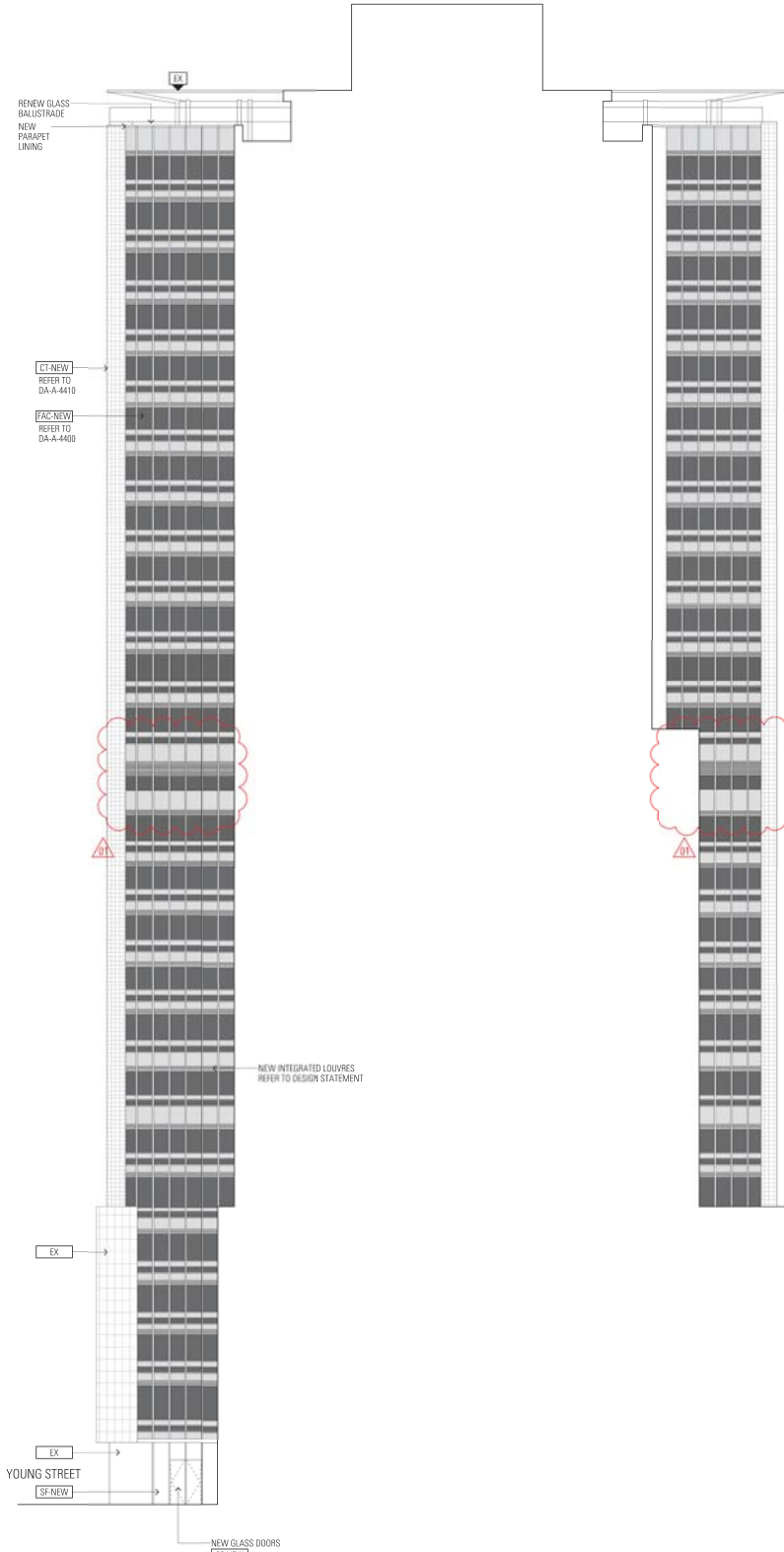
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**Legend**

Site Boundary  
 Proposed Footprint  
 Proposed Structure  
 Proposed Driveway  
 Proposed Parking  
 Proposed Landscape  
 Proposed Fencing  
 Proposed Signage  
 Proposed Access  
 Proposed Retention Wall  
 Proposed Stormwater  
 Proposed Sewerage  
 Proposed Gas  
 Proposed Water  
 Proposed Electricity  
 Proposed Telecommunications  
 Proposed Other

**Site Data**

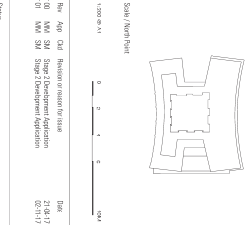
Site Name: 33 Alfred Street  
 Site Address: 33 Alfred Street, Melbourne VIC 3000  
 Site Area: 1,200 sqm  
 Site Zoning: C1  
 Site Occupancy: Office  
 Site Use: Office  
 Site Description: Office building with ground floor retail and upper floors office space.



LEVEL ROOF	RL 117.044
LEVEL 28	RL 113.463
LEVEL 27	RL 110.491
LEVEL 26	RL 106.691
LEVEL 25	RL 102.871
LEVEL 24	RL 99.061
LEVEL 23	RL 95.251
LEVEL 22	RL 91.441
LEVEL 21	RL 87.631
LEVEL 20	RL 83.821
LEVEL 19	RL 80.11
LEVEL 18	RL 76.201
LEVEL 17	RL 72.391
LEVEL 16	RL 68.581
LEVEL 15	RL 64.771
LEVEL 14	RL 60.961
LEVEL 13	RL 56.541
LEVEL 12	RL 52.731
LEVEL 11	RL 48.921
LEVEL 10	RL 45.111
LEVEL 09	RL 41.301
LEVEL 08	RL 37.496
LEVEL 07	RL 33.276
LEVEL 06	RL 28.956
LEVEL 05	RL 24.641
LEVEL 04	RL 20.726
LEVEL 03	RL 16.916
LEVEL 02	RL 13.106
LEVEL 01	RL 8.855
GROUND FLOOR	RL 3.130
BASEMENT LEVEL	RL -0.880

**FINISHES - LEGEND**

CT-NEW	ENGINEERED CERAMIC WITH CUSTOM GLAZE Refer to drawing DA-A-4410
FAC-NEW	NEW CURTAIN WALL FACADE Refer to drawing DA-A-4400
SC-NEW	CLEAR GLASS, FRAMING SYSTEM TO MATCH FAC-NEW
SC-NEW	PATTERNED STAINLESS STEEL COLUMN GLAZING TO MATCH EXISTING EXISTING FINISH
EX	EXISTING FINISH



**General Notes**

The information contained in this document is for the use of the client and is not to be used for any other purpose. The information is the property of the architect and is not to be used for any other purpose. The information is not to be used for any other purpose. The information is not to be used for any other purpose.

**DEVELOPMENT APPLICATION**

**Project Information**

**Client:** AMP CAPITAL  
 100 St Georges Terrace  
 Perth WA 6000 Australia  
 Tel: +61 8 9438 2000  
 Fax: +61 8 9438 2001  
 Email: info@ampcapital.com.au

**Project Name:** AMP CAPITAL Tower  
 100 St Georges Terrace, Perth WA 6000 Australia

**Project Address:** 100 St Georges Terrace, Perth WA 6000 Australia

**Project Description:** High-rise office building, 29 floors above ground and 2 floors below ground. Total height 150m. The building is a Class A office building with a glass facade and a central atrium. The building is located in the Perth CBD and is a landmark building in the city.

**Project Status:** Development Application

**Project Dates:** 11/02/2014

**AMP CAPITAL**

**AMP CAPITAL Tower**

**100 St Georges Terrace**

**Perth WA 6000 Australia**

**Architect:** J.P.W. JOHNSON PULTON WALKER  
 140/150 St Georges Terrace, Perth WA 6000 Australia  
 Tel: +61 8 9438 2000  
 Fax: +61 8 9438 2001  
 Email: info@jpww.com.au

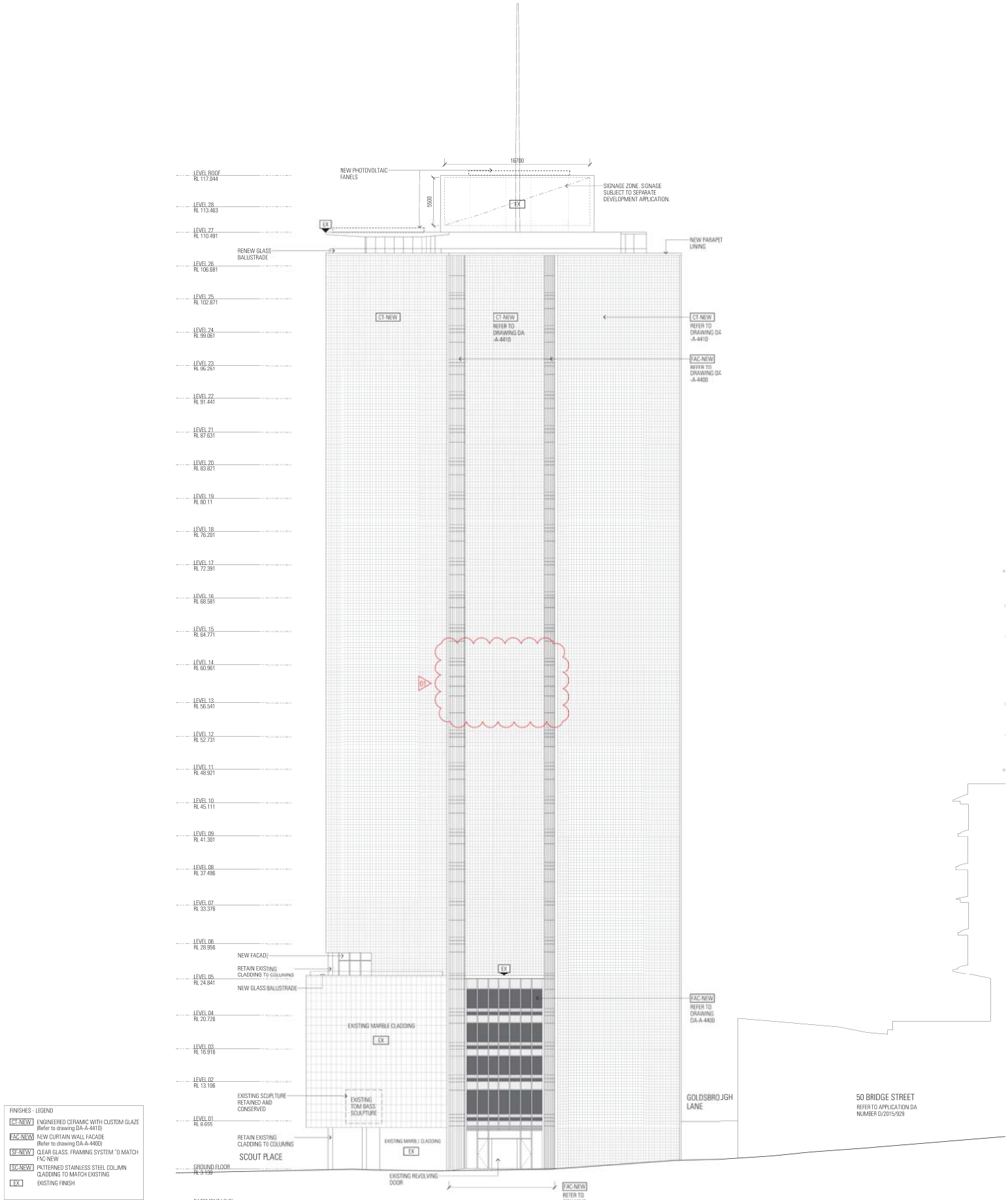
**Structural Engineer:** HAZZARD ENGINEERING  
 140/150 St Georges Terrace, Perth WA 6000 Australia  
 Tel: +61 8 9438 2000  
 Fax: +61 8 9438 2001  
 Email: info@hazard.com.au

**33 ALFRED STREET**

**RECESSED NORTH ELEVATIONS**

**DEVELOPMENT APPLICATION**

**DA-A-2001**



**FINISHES - LEGEND**

<b>CT-NEW</b>	ENGINEERED CERAMIC WITH CUSTOM GLAZE Refer to drawing DA-A-4410
<b>FAC-NEW</b>	NEW CURTAIN WALL FACADE Refer to drawing DA-A-4400
<b>SC-NEW</b>	CLEAR GLASS, FRAMING SYSTEM TO MATCH FAC-NEW
<b>SC-NEW</b>	PATTERNED STAINLESS STEEL COLUMN CLADDING TO MATCH EXISTING EXISTING FINISH

**AMPCAPITAL**  
ARCHITECTURE  
33 ALFRED STREET  
YOUNGS STREET ELEVATION

**JOHNSON PULTON WALKER**  
ARCHITECTS  
1402A YOUNGS STREET  
VICTORIA 3642

**DEVELOPMENT APPLICATION**

**Project Name:** AMP Capital Tower  
**Site:** 1402A Youngs Street, Melbourne, VIC 3000  
**Client:** AMP Capital  
**Architect:** Johnson Pulton Walker  
**Structural Engineer:** [Name]  
**MEP Engineer:** [Name]  
**Facade Engineer:** [Name]  
**Glazing Contractor:** [Name]  
**Photovoltaic Contractor:** [Name]

**50 BRIDGE STREET**  
REFER TO APPLICATION DA NUMBER D/2015/929

**GOLDSBROUGH LANE**

**SCOUT PLACE**

**EXISTING REVOLVING DOOR**

**EXISTING MARRBLE CLADDING**

**EXISTING MARRBLE CLADDING**

**EXISTING SCULPTURE RETAINED AND CONSERVED**

**EXISTING TOM BASS SCULPTURE**

**NEW FACADE**

**RETAIN EXISTING CLADDING TO COLUMNS**

**NEW GLASS BALUSTRADE**

**RETAIN EXISTING CLADDING TO COLUMNS**

**NEW PHOTOVOLTAIC PANELS**

**SIGNAGE ZONE SIGNAGE SUBJECT TO SEPARATE DEVELOPMENT APPLICATION**

**NEW PARAPET LINING**

**CT-NEW REFER TO DRAWING DA-A-4410**

**FAC-NEW REFER TO DRAWING DA-A-4400**

**CT-NEW REFER TO DRAWING DA-A-4410**

**FAC-NEW REFER TO DRAWING DA-A-4400**

**LEVEL 28 RL 113.463**

**LEVEL 27 RL 110.491**

**LEVEL 26 RL 106.591**

**LEVEL 25 RL 102.591**

**LEVEL 24 RL 99.061**

**LEVEL 23 RL 96.251**

**LEVEL 22 RL 91.441**

**LEVEL 21 RL 87.631**

**LEVEL 20 RL 83.201**

**LEVEL 19 RL 80.11**

**LEVEL 18 RL 76.291**

**LEVEL 17 RL 72.391**

**LEVEL 16 RL 68.591**

**LEVEL 15 RL 64.771**

**LEVEL 14 RL 60.361**

**LEVEL 13 RL 56.541**

**LEVEL 12 RL 52.731**

**LEVEL 11 RL 48.921**

**LEVEL 10 RL 45.111**

**LEVEL 09 RL 41.301**

**LEVEL 08 RL 37.496**

**LEVEL 07 RL 33.376**

**LEVEL 06 RL 28.956**

**LEVEL 05 RL 24.941**

**LEVEL 04 RL 20.726**

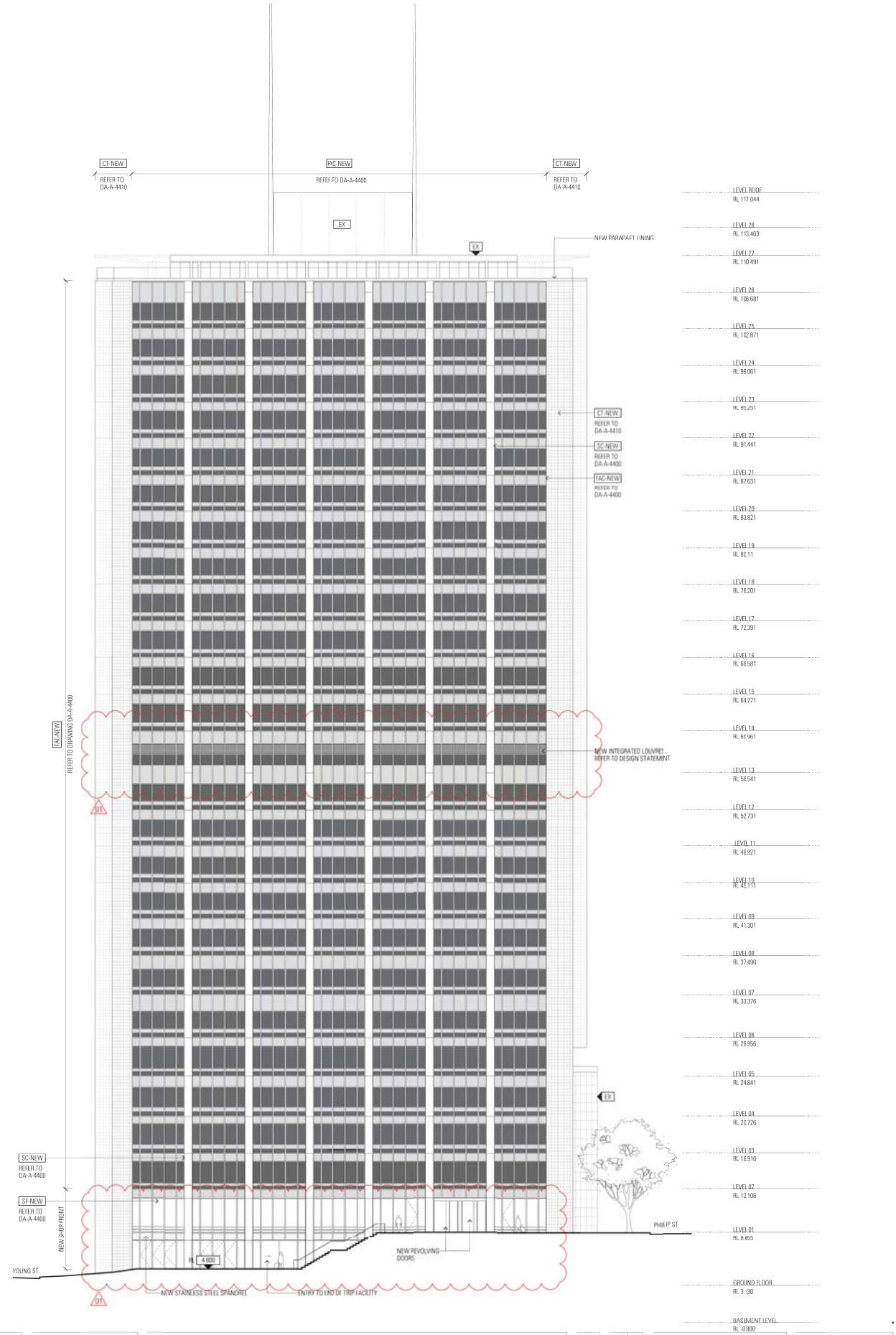
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**LEVEL 02 RL 13.106**

**LEVEL 01 RL 8.655**

**GROUND FLOOR RL 3.156**

**BASEMENT LEVEL RL -1.800**



**FINISHES - LEGEND**

CT-NEW	ENGINEERED CERAMIC WITH CUSTOM GLAZE Refer to drawing DA-A-4410
FAC-NEW	NEW CURTAIN WALL FACADE Refer to drawing DA-A-4400
SC-NEW	CLEAR GLASS FRAMING SYSTEM TO MATCH FAC-NEW
SF-NEW	PATTERNED STAINLESS STEEL COLUMN GLAZING TO MATCH EXISTING EXISTING FINISH
EX	EXISTING FINISH

**33 ALFRED STREET**  
 Sydney NSW  
**GOLDSBROUGH LANE ELEVATION**  
 Drawing Title  
 DA-A-2003

**JOHNSON WALKER**  
 ARCHITECTS  
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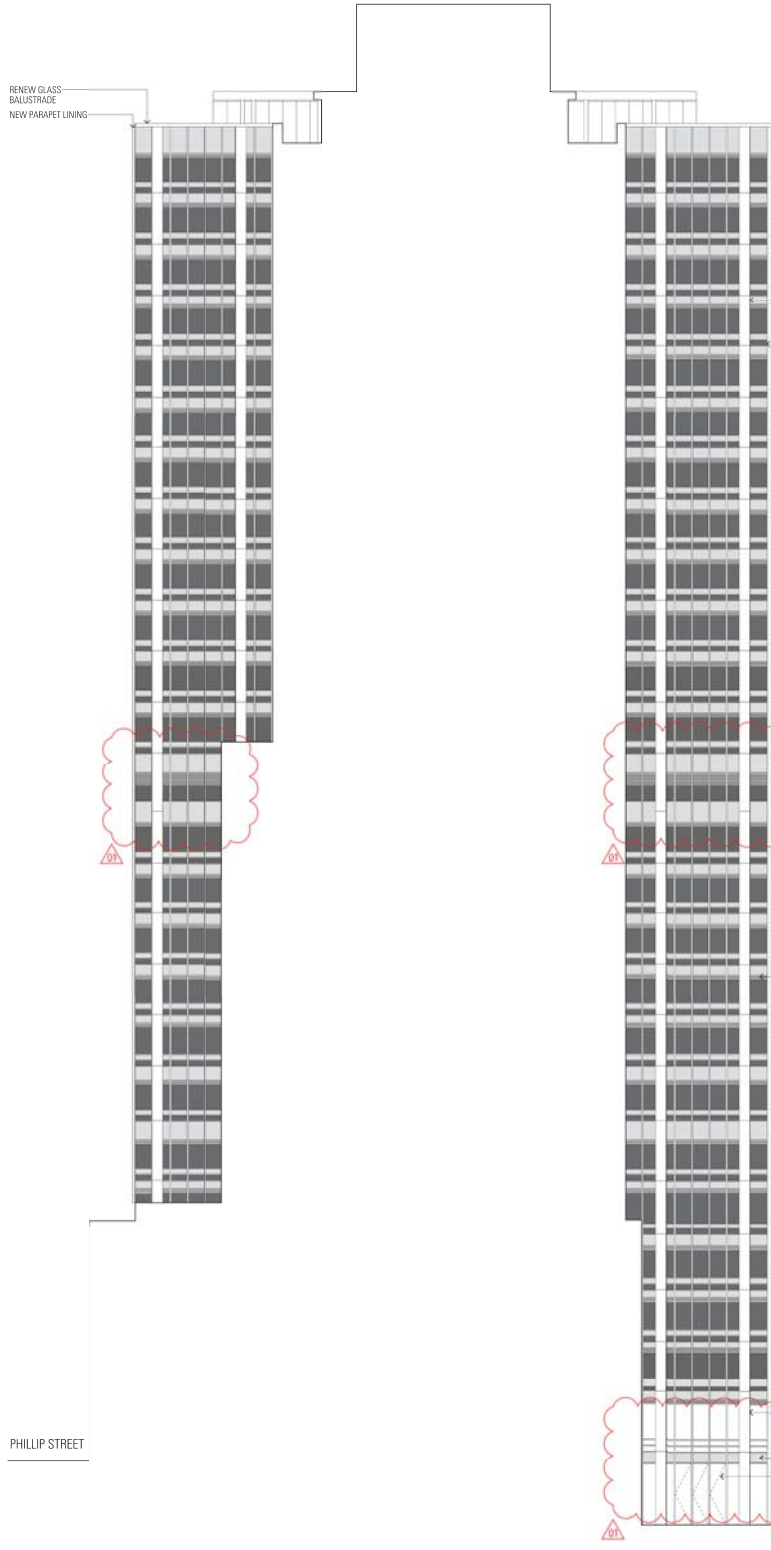
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**AMP CAPITAL**  
 11/20/2017  
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**DEVELOPMENT APPLICATION**  
 11/20/2017  
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**DEVELOPMENT APPLICATION**  
 11/20/2017  
 11:11:34 AM





LEVEL ROOF	RL 117.044
LEVEL 28	RL 113.463
LEVEL 27	RL 110.491
LEVEL 26	RL 106.681
LEVEL 25	RL 102.611
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LEVEL 17	RL 72.391
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LEVEL 11	RL 48.921
LEVEL 10	RL 45.111
LEVEL 09	RL 41.301
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LEVEL 07	RL 33.776
LEVEL 06	RL 29.956
LEVEL 05	RL 24.841
LEVEL 04	RL 20.726
LEVEL 03	RL 16.516
LEVEL 02	RL 13.106
LEVEL 01	RL 8.655
GROUND FLOOR	RL 3.130
BASEMENT LEVEL	RL 0.800

**FINISHES - LEGEND**

CI-NEW	ENGINEEERED CERAMIC WITH CUSTOM GLAZE Refer to drawing DA-A-4410
FAC-NEW	NEW CURTAIN WALL FACADE Refer to drawing DA-A-4400
SC-NEW	CLEAR GLASS, FRAMING SYSTEM TO MATCH FAC-NEW
SC-NEW	PATTERNED STAINLESS STEEL COLUMN GLAZING TO MATCH EXISTING
EX	EXISTING FINISH

**33 ALFRED STREET**

**SOUTH RECESSED ELEVATIONS**

Project Number: **14022A**  
 Development Stage: **DEVELOPMENT APPLICATION**  
 Date: **01/10/2024**

**JPW**  
**JOHNSON PULTON WALKER**  
 Architects  
 110 Market Street, Level 11  
 Sydney NSW 2000 Australia  
 Telephone: +61 2 9259 3800  
 Fax: +61 2 9259 3809  
 Email: [info@jpww.com.au](mailto:info@jpww.com.au)

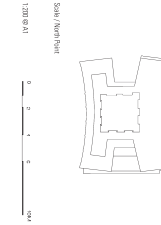
**AMP CAPITAL**  
 Client  
 110 Market Street, Level 11  
 Sydney NSW 2000 Australia

**AMP CAPITAL**  
 Client  
 110 Market Street, Level 11  
 Sydney NSW 2000 Australia

**AMP CAPITAL**  
 Client  
 110 Market Street, Level 11  
 Sydney NSW 2000 Australia

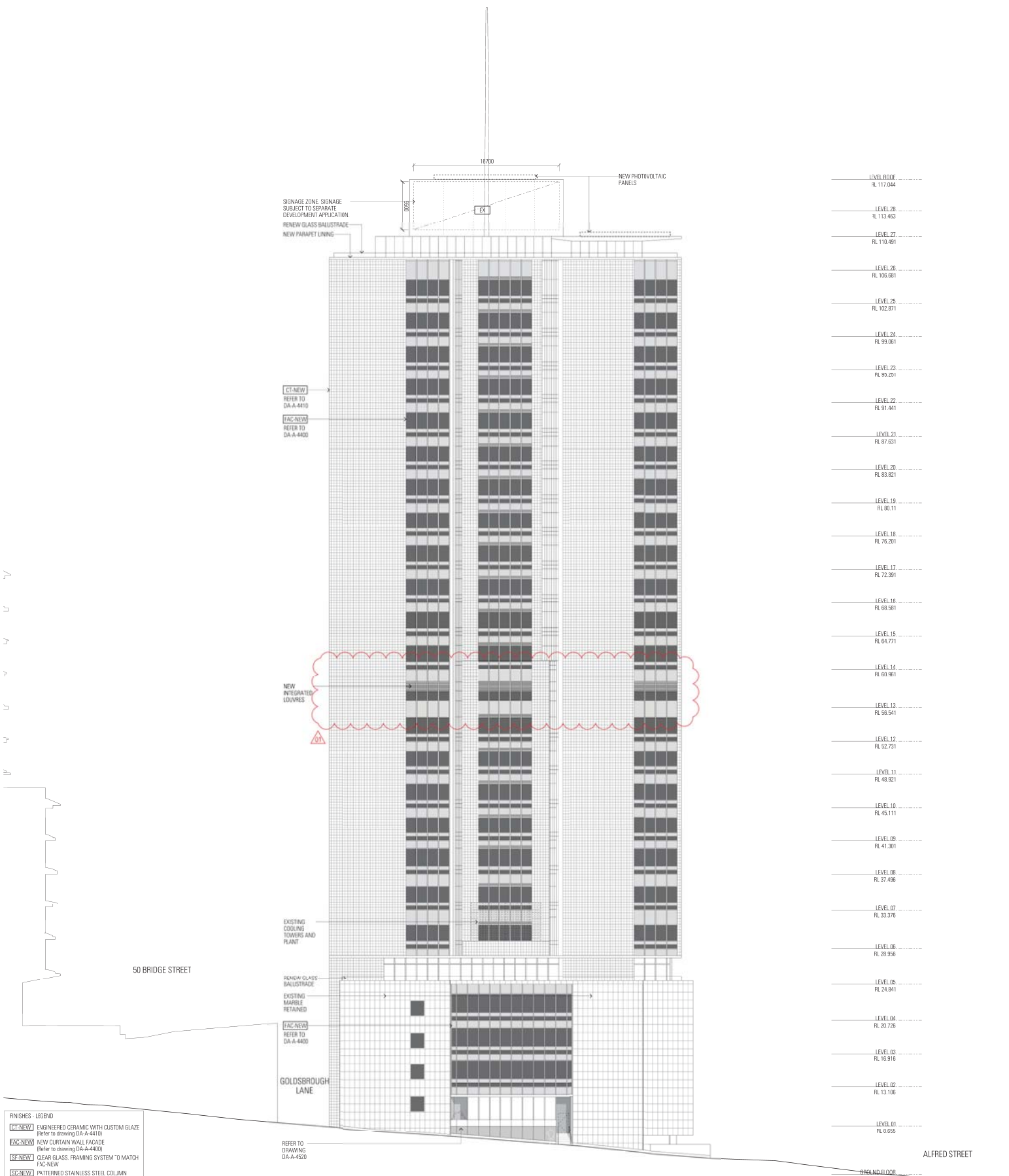
**AMP CAPITAL**  
 Client  
 110 Market Street, Level 11  
 Sydney NSW 2000 Australia

**AMP CAPITAL**  
 Client  
 110 Market Street, Level 11  
 Sydney NSW 2000 Australia



**DEVELOPMENT APPLICATION**

Project Name: **33 Alfred Street**  
 Project Number: **14022A**  
 Date: **01/10/2024**



**FINISHES - LEGEND**

<b>CT-NEW</b>	ENGINEERED CERAMIC WITH CUSTOM GLAZE Refer to drawing DA-A-4410
<b>FAC-NEW</b>	NEW CURTAIN WALL FACADE Refer to drawing DA-A-4400
<b>SC-NEW</b>	CLEAR GLASS FRAMING SYSTEM TO MATCH FAC-NEW
<b>SC-NEW</b>	PATTERNED STAINLESS STEEL COLUMN GLAZING TO MATCH EXISTING
<b>EX</b>	EXISTING FINISH

**33 ALFRED STREET**

**PHILIP STREET ELEVATION**

**DEVELOPMENT APPLICATION**

DA-A-2025-0006-01

**AMP CAPITAL**  
ARCHITECTS

AMP CAPITAL  
140/142 Phillip Street  
Melbourne VIC 3000 Australia  
Phone: +61 3 9292 3000  
Email: info@ampcapital.com.au  
www.ampcapital.com.au

**JOHNSON PLYTON WALKER**  
ARCHITECTS

JOHNSON PLYTON WALKER  
114/116 Phillip Street  
Melbourne VIC 3000 Australia  
Phone: +61 3 9292 3000  
Email: info@jpwa.com.au  
www.jpwa.com.au

**FINISHES**

**CT-NEW** ENGINEERED CERAMIC WITH CUSTOM GLAZE  
Refer to drawing DA-A-4410

**FAC-NEW** NEW CURTAIN WALL FACADE  
Refer to drawing DA-A-4400

**SC-NEW** CLEAR GLASS FRAMING SYSTEM TO MATCH FAC-NEW

**SC-NEW** PATTERNED STAINLESS STEEL COLUMN GLAZING TO MATCH EXISTING

**EX** EXISTING FINISH

**DEVELOPMENT APPLICATION**

DA-A-2025-0006-01

**SHED/AVENUE PLAN**

**FINISHES**

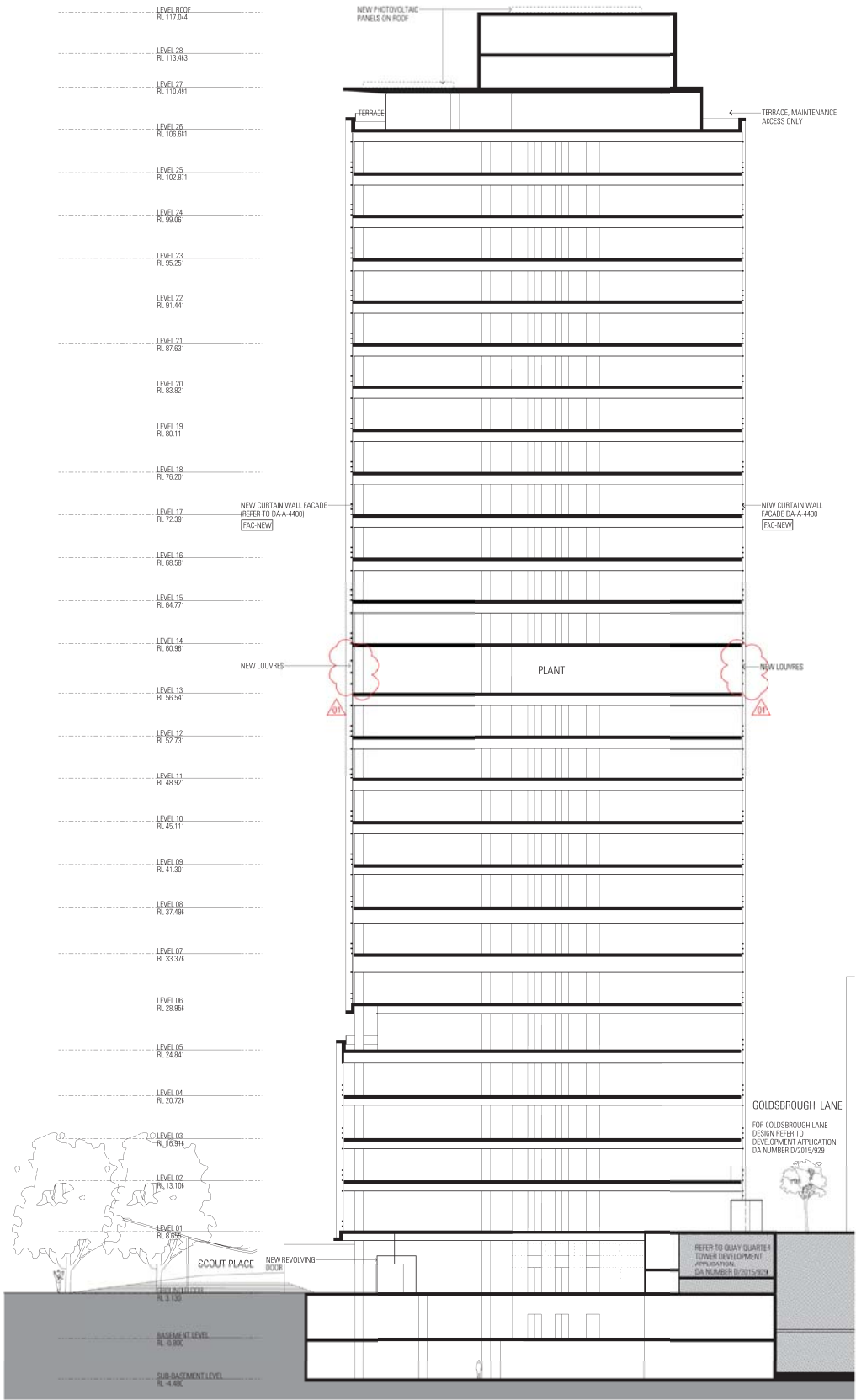
**CT-NEW** ENGINEERED CERAMIC WITH CUSTOM GLAZE  
Refer to drawing DA-A-4410

**FAC-NEW** NEW CURTAIN WALL FACADE  
Refer to drawing DA-A-4400

**SC-NEW** CLEAR GLASS FRAMING SYSTEM TO MATCH FAC-NEW

**SC-NEW** PATTERNED STAINLESS STEEL COLUMN GLAZING TO MATCH EXISTING

**EX** EXISTING FINISH



Project Number: 14022A  
 Development Application: DA-A-5000  
 North South Section

Architect: JPM JOHNSON PULTON WALKER  
 2/100 Victoria Road, Suite 101, Melbourne VIC 3000  
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 Fax: +61 3 2293 2009  
 Email: info@jpw.com.au

AMP CAPITAL  
 100 St Georges Terrace, Perth WA 6000  
 Phone: +61 8 9438 2000  
 Email: info@amp.com.au

Project Name: AMP Capital Tower  
 Location: 100 St Georges Terrace, Perth WA 6000  
 Project Number: DA-A-5000

Project Manager: [Name]  
 Design Manager: [Name]  
 Structural Engineer: [Name]  
 Mechanical Engineer: [Name]  
 Electrical Engineer: [Name]  
 Fire Engineer: [Name]  
 Landscape Architect: [Name]  
 Quantity Surveyor: [Name]  
 Planning Consultant: [Name]  
 Environmental Consultant: [Name]  
 Heritage Consultant: [Name]  
 Arborist: [Name]  
 Acoustic Consultant: [Name]  
 Energy and Sustainability Consultant: [Name]  
 Flood Risk Consultant: [Name]  
 Geotechnical Engineer: [Name]  
 Health and Safety Consultant: [Name]  
 Heritage Consultant: [Name]  
 Landscape Architect: [Name]  
 Mechanical Engineer: [Name]  
 Electrical Engineer: [Name]  
 Fire Engineer: [Name]  
 Planning Consultant: [Name]  
 Quantity Surveyor: [Name]  
 Structural Engineer: [Name]  
 Sustainability Consultant: [Name]  
 Urban Design Consultant: [Name]  
 Visual Impact Assessment Consultant: [Name]

Project Manager: [Name]  
 Design Manager: [Name]  
 Structural Engineer: [Name]  
 Mechanical Engineer: [Name]  
 Electrical Engineer: [Name]  
 Fire Engineer: [Name]  
 Landscape Architect: [Name]  
 Quantity Surveyor: [Name]  
 Planning Consultant: [Name]  
 Environmental Consultant: [Name]  
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 Geotechnical Engineer: [Name]  
 Health and Safety Consultant: [Name]  
 Heritage Consultant: [Name]  
 Landscape Architect: [Name]  
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 Fire Engineer: [Name]  
 Planning Consultant: [Name]  
 Quantity Surveyor: [Name]  
 Structural Engineer: [Name]  
 Sustainability Consultant: [Name]  
 Urban Design Consultant: [Name]  
 Visual Impact Assessment Consultant: [Name]

Project Manager: [Name]  
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 Fire Engineer: [Name]  
 Landscape Architect: [Name]  
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 Energy and Sustainability Consultant: [Name]  
 Flood Risk Consultant: [Name]  
 Geotechnical Engineer: [Name]  
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 Sustainability Consultant: [Name]  
 Urban Design Consultant: [Name]  
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Project Manager: [Name]  
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 Visual Impact Assessment Consultant: [Name]

Project Manager: [Name]  
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 Energy and Sustainability Consultant: [Name]  
 Flood Risk Consultant: [Name]  
 Geotechnical Engineer: [Name]  
 Health and Safety Consultant: [Name]  
 Heritage Consultant: [Name]  
 Landscape Architect: [Name]  
 Mechanical Engineer: [Name]  
 Electrical Engineer: [Name]  
 Fire Engineer: [Name]  
 Planning Consultant: [Name]  
 Quantity Surveyor: [Name]  
 Structural Engineer: [Name]  
 Sustainability Consultant: [Name]  
 Urban Design Consultant: [Name]  
 Visual Impact Assessment Consultant: [Name]

**General Notes**

1. The contractor shall be responsible for the design and construction of the curtain wall. The contractor shall be responsible for the procurement of all materials and components. The contractor shall be responsible for the installation and commissioning of the curtain wall. The contractor shall be responsible for the maintenance and repair of the curtain wall. The contractor shall be responsible for the removal and disposal of any materials and components. The contractor shall be responsible for the safety of all workers and the public. The contractor shall be responsible for the environment and the community. The contractor shall be responsible for the quality of the work. The contractor shall be responsible for the cost of the work. The contractor shall be responsible for the time of the work. The contractor shall be responsible for the risk of the work. The contractor shall be responsible for the liability of the work. The contractor shall be responsible for the insurance of the work. The contractor shall be responsible for the bonding of the work. The contractor shall be responsible for the performance of the work. The contractor shall be responsible for the satisfaction of the client. The contractor shall be responsible for the success of the project. The contractor shall be responsible for the reputation of the company. The contractor shall be responsible for the future of the industry. The contractor shall be responsible for the world.



Scale: North 1:50  
 0 0.50 1.00 1.50 2.00

Rev: App: C/C: Revision: Reason for Issue: Date: 7/24/17  
 01: 000: 000: Stage: Development/Pre-Design

**DEVELOPMENT APPLICATION**

**Project Manager**  
 The Property Group/Architect  
 1400/1401 Level 14, 150 Pitt Street  
 Sydney NSW 2000  
 +61 2 9292 3000  
 +61 2 9292 3000  
 +61 2 9292 3000

**Building Services**  
 The Property Group/Architect  
 1400/1401 Level 14, 150 Pitt Street  
 Sydney NSW 2000  
 +61 2 9292 3000  
 +61 2 9292 3000  
 +61 2 9292 3000

**Structural Engineer**  
 The Property Group/Architect  
 1400/1401 Level 14, 150 Pitt Street  
 Sydney NSW 2000  
 +61 2 9292 3000  
 +61 2 9292 3000  
 +61 2 9292 3000

**MEP Engineer**  
 The Property Group/Architect  
 1400/1401 Level 14, 150 Pitt Street  
 Sydney NSW 2000  
 +61 2 9292 3000  
 +61 2 9292 3000  
 +61 2 9292 3000

**Acoustic Consultant**  
 The Property Group/Architect  
 1400/1401 Level 14, 150 Pitt Street  
 Sydney NSW 2000  
 +61 2 9292 3000  
 +61 2 9292 3000  
 +61 2 9292 3000

**Fire Engineer**  
 The Property Group/Architect  
 1400/1401 Level 14, 150 Pitt Street  
 Sydney NSW 2000  
 +61 2 9292 3000  
 +61 2 9292 3000  
 +61 2 9292 3000

**Wind Engineer**  
 The Property Group/Architect  
 1400/1401 Level 14, 150 Pitt Street  
 Sydney NSW 2000  
 +61 2 9292 3000  
 +61 2 9292 3000  
 +61 2 9292 3000

**Energy Consultant**  
 The Property Group/Architect  
 1400/1401 Level 14, 150 Pitt Street  
 Sydney NSW 2000  
 +61 2 9292 3000  
 +61 2 9292 3000  
 +61 2 9292 3000

**Health and Safety Consultant**  
 The Property Group/Architect  
 1400/1401 Level 14, 150 Pitt Street  
 Sydney NSW 2000  
 +61 2 9292 3000  
 +61 2 9292 3000  
 +61 2 9292 3000

**Construction Manager**  
 The Property Group/Architect  
 1400/1401 Level 14, 150 Pitt Street  
 Sydney NSW 2000  
 +61 2 9292 3000  
 +61 2 9292 3000  
 +61 2 9292 3000

**Quantity Surveyor**  
 The Property Group/Architect  
 1400/1401 Level 14, 150 Pitt Street  
 Sydney NSW 2000  
 +61 2 9292 3000  
 +61 2 9292 3000  
 +61 2 9292 3000

**Cost Consultant**  
 The Property Group/Architect  
 1400/1401 Level 14, 150 Pitt Street  
 Sydney NSW 2000  
 +61 2 9292 3000  
 +61 2 9292 3000  
 +61 2 9292 3000

**Legal Consultant**  
 The Property Group/Architect  
 1400/1401 Level 14, 150 Pitt Street  
 Sydney NSW 2000  
 +61 2 9292 3000  
 +61 2 9292 3000  
 +61 2 9292 3000

**Insurance Consultant**  
 The Property Group/Architect  
 1400/1401 Level 14, 150 Pitt Street  
 Sydney NSW 2000  
 +61 2 9292 3000  
 +61 2 9292 3000  
 +61 2 9292 3000

**Environmental Consultant**  
 The Property Group/Architect  
 1400/1401 Level 14, 150 Pitt Street  
 Sydney NSW 2000  
 +61 2 9292 3000  
 +61 2 9292 3000  
 +61 2 9292 3000

**Heritage Consultant**  
 The Property Group/Architect  
 1400/1401 Level 14, 150 Pitt Street  
 Sydney NSW 2000  
 +61 2 9292 3000  
 +61 2 9292 3000  
 +61 2 9292 3000

**Architect**  
 Johnson Pilton Walker  
 1400/1401 Level 14, 150 Pitt Street  
 Sydney NSW 2000  
 +61 2 9292 3000  
 +61 2 9292 3000  
 +61 2 9292 3000



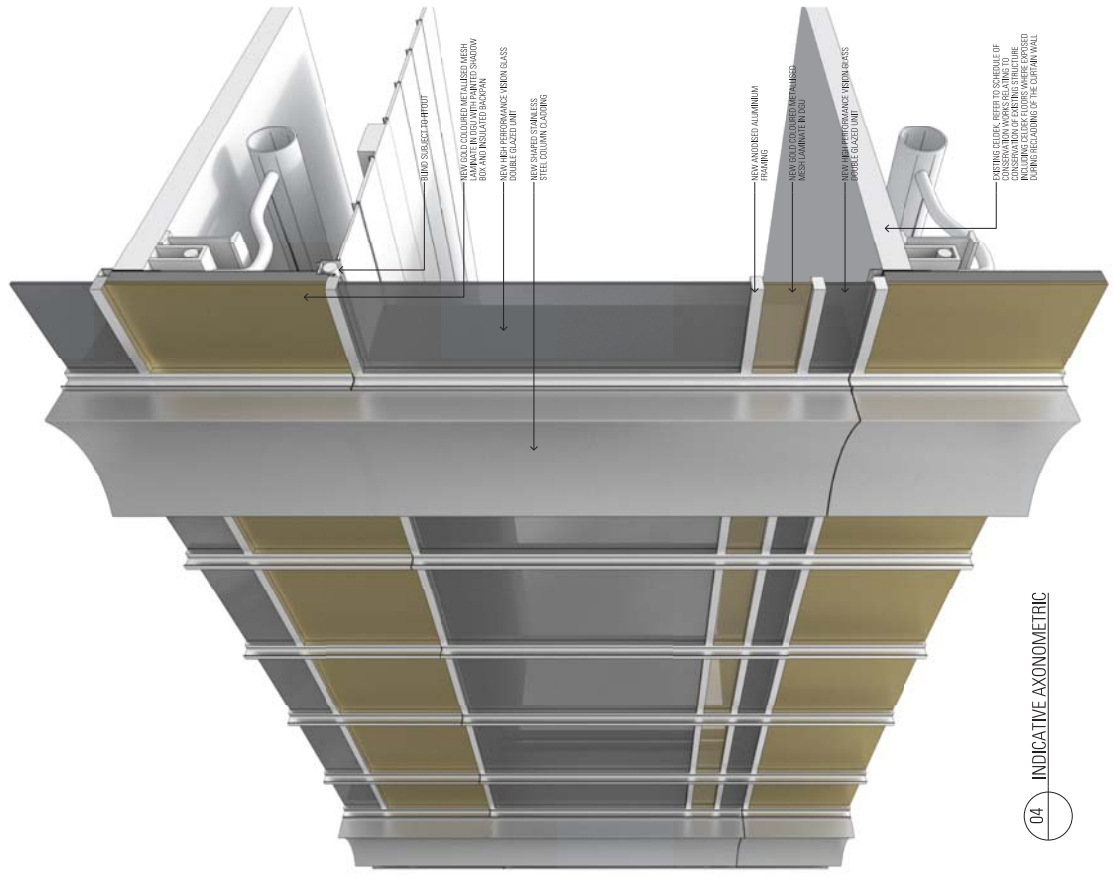
**Architect**  
 JOHNSON PILTON WALKER  
 1400/1401 Level 14, 150 Pitt Street  
 Sydney NSW 2000  
 +61 2 9292 3000  
 +61 2 9292 3000  
 +61 2 9292 3000

**Project Name**  
 33 ALFRED STREET

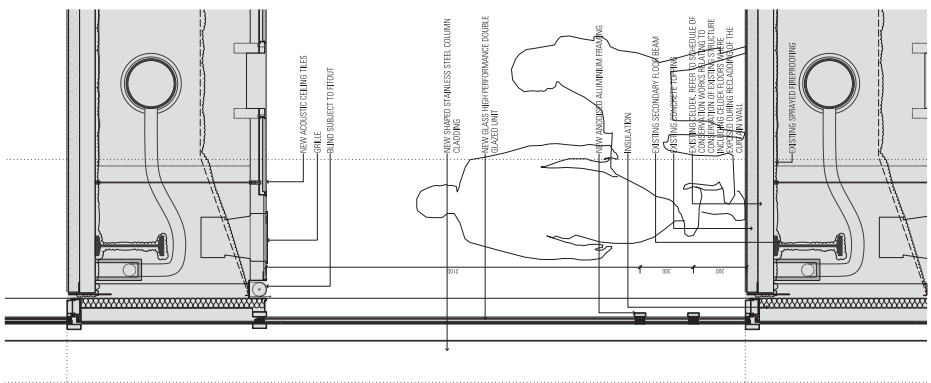
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**Development Stage**  
 DEVELOPMENT APPLICATION

**Document Number**  
 DA-A-4400



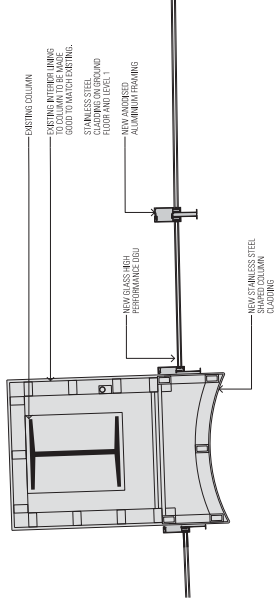
04 INDICATIVE AXONOMETRIC



02 SECTION

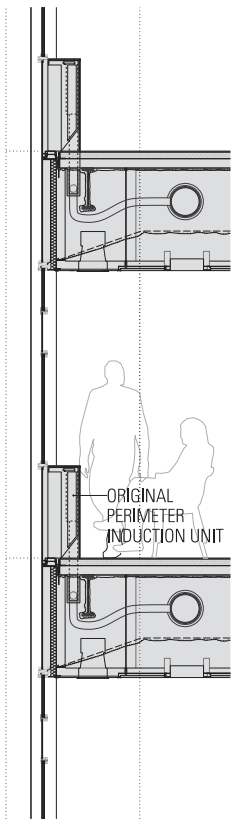
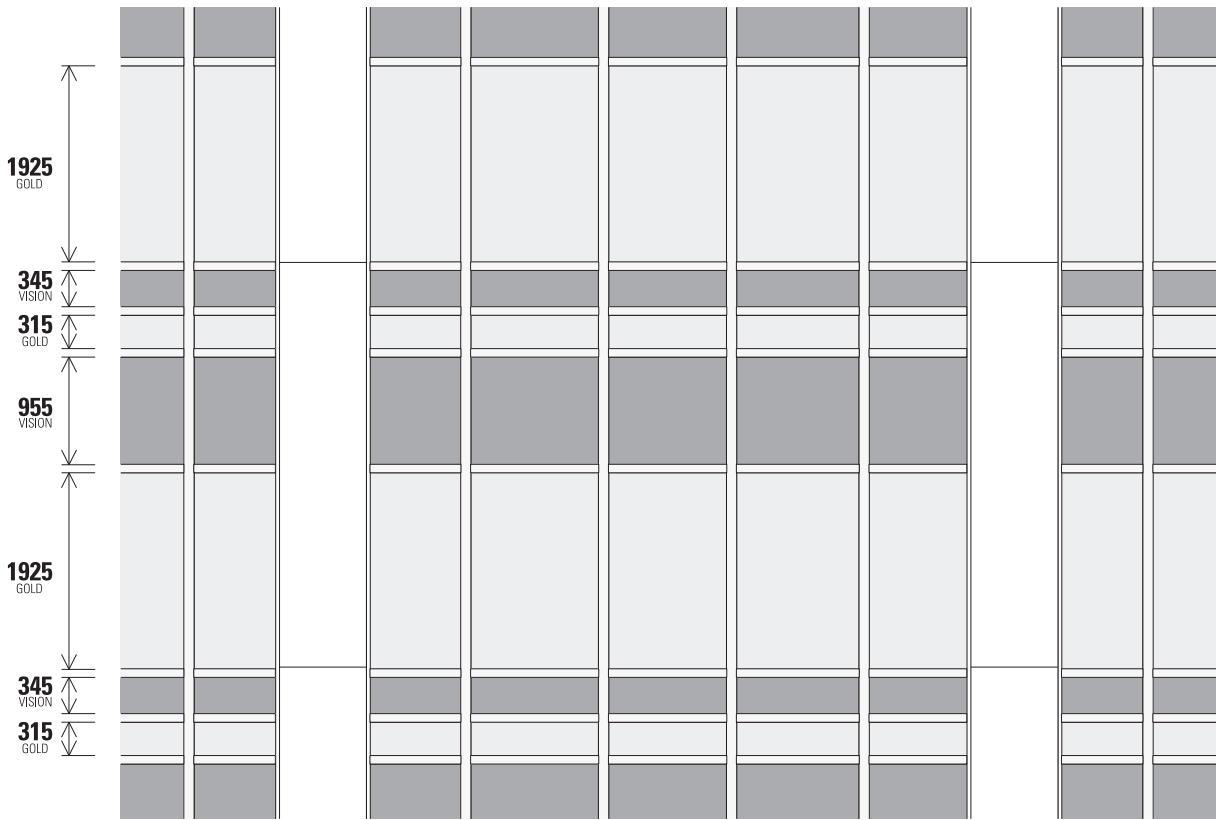


01 ELEVATION



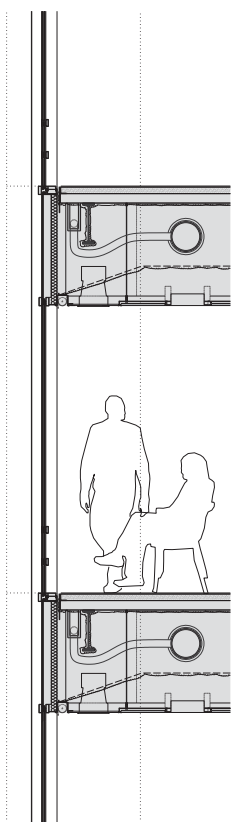
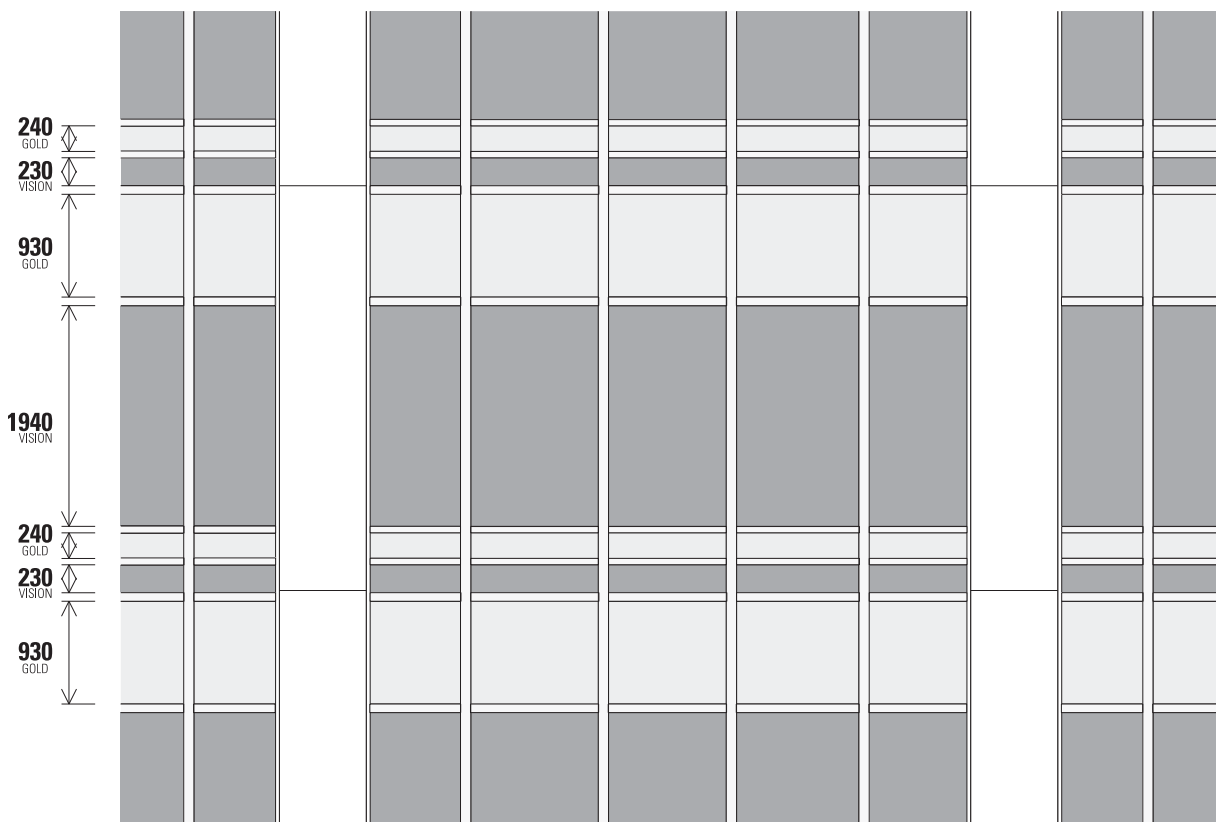
03 PLAN (TYPICAL)

**FINAL MATERIALS AND FINISH**  
**SUBJECT TO VISUAL PROTOTYPING**  
**MOCKUP + SPECIALIST**  
**SUBCONTRACTOR INPUT**



01 ORIGINAL ELEVATION

02 ORIGINAL SECTION



03 PROPOSED ELEVATION

04 PROPOSED SECTION

Architect  
**JPW**  
**JOHNSON MITTON WALKER**  
 1000 North Main Street, Suite 1000  
 New York, NY 10002-3000  
 Telephone: 415 259-2000  
 Fax: 415 259-2000  
 www.johnson-milton.com

Architect  
**33 ALFRED STREET**

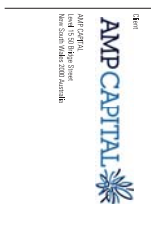
Typical Detail  
**TYPICAL CURTAIN WALL  
 DETAIL-INDICATIVE INTENT**

Project Number  
**14827A**

Development Stage  
**DEVELOPMENT APPLICATION**

Date  
**00**

Drawn by  
**DA-4-401**



Architect  
**AMP CAPITAL**  
 1000 North Main Street, Suite 1000  
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 Fax: 415 259-2000  
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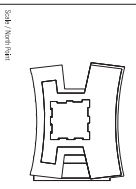
Architect  
**AMP CAPITAL**  
 1000 North Main Street, Suite 1000  
 New York, NY 10002-3000  
 Telephone: 415 259-2000  
 Fax: 415 259-2000  
 www.ampcapital.com







General Notes:  
1. The architect reserves the right to make changes to the design and/or construction of the building at any time without notice.  
2. The architect is not responsible for the design of the building's interior fit-out.  
3. The architect is not responsible for the design of the building's exterior landscaping.  
4. The architect is not responsible for the design of the building's mechanical, electrical and plumbing systems.  
5. The architect is not responsible for the design of the building's fire protection and life safety systems.  
6. The architect is not responsible for the design of the building's security systems.  
7. The architect is not responsible for the design of the building's accessibility features.  
8. The architect is not responsible for the design of the building's energy systems.  
9. The architect is not responsible for the design of the building's sustainability features.  
10. The architect is not responsible for the design of the building's smart building systems.  
11. The architect is not responsible for the design of the building's data center systems.  
12. The architect is not responsible for the design of the building's server room systems.  
13. The architect is not responsible for the design of the building's network systems.  
14. The architect is not responsible for the design of the building's communication systems.  
15. The architect is not responsible for the design of the building's transportation systems.  
16. The architect is not responsible for the design of the building's parking systems.  
17. The architect is not responsible for the design of the building's storage systems.  
18. The architect is not responsible for the design of the building's waste management systems.  
19. The architect is not responsible for the design of the building's recycling systems.  
20. The architect is not responsible for the design of the building's water management systems.



Scale: North 1/4" = 1' - 0"

### DEVELOPMENT APPLICATION

Project Name	Project Location	Project Description	Project Status
Project Name	Project Location	Project Description	Project Status
Project Name	Project Location	Project Description	Project Status
Project Name	Project Location	Project Description	Project Status
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Project Name	Project Location	Project Description	Project Status



**AMP CAPITAL**  
33 ALBERD STREET  
SUITE 200  
TORONTO, ONTARIO M5G 1B8  
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WWW.AMPCAPITAL.COM

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**General Notes:**  
 1. This plan was prepared for the use of the City of Albany. It is not intended to be used for any other project or purpose.  
 2. The accuracy of the information contained herein is the responsibility of the client. The City of Albany is not responsible for any errors or omissions.  
 3. All work shall conform to the current codes and ordinances of the City of Albany.  
 4. All work shall conform to the current codes and ordinances of the State of Oregon.  
 5. All work shall conform to the current codes and ordinances of the United States of America.

**Key:**  
 1. Building Footprint  
 2. Site Boundary



No.	Size	Description	Notes
1	500	Building Footprint	
2	1000	Site Boundary	

**DEVELOPMENT APPLICATION**

**Project Information**  
 Project Name: AMP CAPITAL  
 Project Address: 33 ALFRED STREET, ALBANY, OR 97321  
 Project Contact: JOHNSON PATLON WALKER  
 Project Phone: (503) 544-5006  
 Project Email: jpw@jpw.com

**Site Information**  
 Parcel Address: 33 ALFRED STREET, ALBANY, OR 97321  
 Parcel Area: 10,000 sq ft  
 Zoning: C-1  
 Assessor's Map: 2000-10000-0000

**Development Information**  
 Building Type: Office  
 Building Area: 10,000 sq ft  
 Number of Units: 0  
 Estimated Construction Cost: \$10,000,000

**AMP CAPITAL**  
 33 ALFRED STREET, ALBANY, OR 97321  
 (503) 544-5006  
[www.ampcapital.com](http://www.ampcapital.com)

**JOHNSON PATLON WALKER**  
 1400 ZAZA DRIVE, ALBANY, OR 97321  
 (503) 544-5006  
[www.jpwalker.com](http://www.jpwalker.com)

**PROPOSED VIEW FROM SCOUT PLACE**  
 D-4-5006  
 DEVELOPMENT APPLICATION

